

# PORTOLA CENTER AREA PLAN



SEPTEMBER 2013



**Adopted by:**

The City of Lake Forest

[Date]

By Resolution Number \_\_\_\_\_

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# PORTOLA CENTER AREA PLAN

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# PORTOLA CENTER AREA PLAN

## CHAPTER ONE

### **INTRODUCTION**

- 1.1 INTRODUCTION**
- 1.2 PROJECT PLANNING OBJECTIVES**
- 1.3 PROJECT DESCRIPTION**
- 1.4 PROJECT BACKGROUND**
- 1.5 PROJECT SITE LOCATION AND SETTING**
- 1.6 EXISTING SURROUNDING LAND USES**
- 1.7 PLANNING CONTEXT**

## 1.1 INTRODUCTION

Portola Center is a new Area Plan within the original planning framework of the Portola Hills Planned Community that establishes new land uses, design guidelines, and development standards. The Area Plan includes project design features, community facilities, and amenities and outlines the community design guidelines, land use regulations, development standards, and implementation plans. The purpose of the Portola Center Area Plan is to regulate the planning and development of the Portola Center Project.

The regulatory framework for this Area Plan includes the City of Lake Forest General Plan, the City of Lake Forest Municipal Code, the Portola Hills Planned Community Regulations, the Portola Center Development Agreement, applicable Orange County design standards, Retaining Wall Design Guidelines, and OCFA fire protection requirements for new development projects.

## 1.2 PROJECT PLANNING OBJECTIVES

The Portola Center Project objectives address a range of planning elements for the site, including housing and land use objectives, grading and landform, neighborhood character and community design, and compatibility with the surrounding environment. The Project's objectives are:

- ❖ *Provide a comprehensive plan for development of Portola Center which implements the goals and policies of the Lake Forest General Plan.*
- ❖ *Establish a distinct image and identity for Portola Center.*
- ❖ *Develop new neighborhoods compatible with and complementary to the fabric of the larger Portola Hills Planned Community.*
- ❖ *Provide a balanced mix of single family and multi-family homes and active public and private uses.*
- ❖ *Develop a balanced grading plan for the project and the community.*
- ❖ *Integrate the land use plan, landscape plan, and use of retaining walls into the Fire Protection Plan to increase the defensibility of the site to wildfire.*
- ❖ *Create multiple active and passive recreational spaces with connectivity to the Project's neighborhoods and surroundings.*

## 1.3 PROJECT DESCRIPTION

The Portola Center Project is located on an approximately 196-acre site in the Portola Hills Community of Lake Forest. The Project is separated into two Tentative Tract Maps (TTM15353 and TTM17300) consisting of a mix of single family and multifamily homes, public and neighborhood parks, public trails, and a small neighborhood-serving retail component. The Project site is bifurcated by Glenn Ranch Road east to west and Saddleback Ranch Road north to south, breaking the Project site into three separate planning areas, the Portola South Planning Area, the Portola Northwest Planning Area, and the Portola Northeast Planning Area. TTM17300 contains the two Northern Planning Areas and TTM15353 contains the South Planning Area.

In total, the Project consists of 930 single family and multifamily homes and 10,000 square feet of retail space covering an Area Plan with three Planning Areas comprising 8 separate Planning Units. The Northwest Planning Area consists of one Planning Unit of 81 single family homes and the Northeast Planning Area consists of one Planning Unit of 223 single family homes for a total 304 singlefamily homes. The Portola Center South Planning Area consists of 626 homes and 10,000 square feet of retail space comprising six Planning Units, including four distinct single family neighborhoods of 313 homes, one multifamily neighborhood of 256 homes, and a small mixed use site supporting 57 affordable apartments and 10,000 square feet of neighborhood-serving retail. As part of the Project's affordable housing component, 18 attached accessory dwellings are distributed across the Northwest and Northeast Planning Areas.

The North Planning Areas are planned with lot sizes that are intended to be compatible with the larger lot single family neighborhoods of the Portola Hills Community along the Project's northern boundary whereas the South Planning Area is planned with a range of lot sizes and home types.

In addition to the single family neighborhoods, the Northwest and Northeast Planning Areas include two neighborhood parks each approximately 0.5 acre in size. The North Planning Areas include fencing and landscaping enhancements to existing Aliso Serrano Regional Riding & Hiking Trail located along the north side of Glenn Ranch Road and a partial realignment and improvements to the Whiting Ranch Coyote Brush Trail where that trail crosses through the Project's boundary. The South includes a public 5-acre Community Park to be dedicated to and owned and operated by the City of Lake Forest, approximately 4.2 acres of neighborhood parks and community recreational facilities, and 1.5 acres of new public-use trails with exercise stations and other amenities.

In summary, in addition to providing a range of housing types, the development of Portola Center will result in additional open space creation, a new 5-acre public park, new public-use trails with recreational amenities, and trail enhancements to the existing Aliso Serrano Regional Riding and Hiking Trail and Whiting Ranch Trail.

#### **1.4 PROJECT BACKGROUND**

The Portola Center Project is located on an undeveloped 196-acre site in the City of Lake Forest, California, adjacent to the existing master-planned community of Portola Hills. As originally part of the Portola Hills Planned Community, the Project site was approved for approximately 150 acres of commercial and industrial uses by the County of Orange in 1986. At that time, the Project site was located within the 65 dB CNEL Noise Contour for the Marine Corps Air Station (MCAS) El Toro and, as a result, was restricted to non-residential uses. Between 1986 and 2002, the remainder of Portola Hills was developed with single family and multi-family homes, a fire station, an elementary school (Portola Hills Elementary), and recreational and open space uses.

Following the closure of MCAS El Toro, the City of Lake Forest commissioned an "Opportunities Study" to identify land uses that would be appropriate on properties no longer encumbered by the 65 dB CNEL Noise Contour. These properties were collectively identified as the Opportunities Study Area (OSA) and consisted of approximately 838 acres of undeveloped property, including the Portola Center Project site. The City initiated changes to the allowed land uses on the OSA properties from industrial and commercial uses to residential, mixed uses, and public parks to better serve the needs of the community. As part of the OSA Process, the City processed a General Plan Amendment (GPA) to amend the permitted land uses on the OSA properties, including the Project site. For the Portola Center site, the GPA evaluated approximately 125 acres of residential uses, 13 acres of mixed (commercial) uses, public facilities, open space, and park uses. In June 2008, the City approved the OSA GPA.

Concurrently with the approval of the OSA GPA, the City entered into a development agreement with the property owners of Portola Center, the Portola Center Development Agreement (DA), that provides certain extraordinary benefits to the City of Lake Forest in exchange for the vested right to develop between 904 and 930 residential units and up to 40,000 sq. ft. of commercial uses on the Project site. Such public benefits include contributions toward city facilities (i.e., the 65-acre Glass Creek Sports Park, neighborhood parks, and a community center), school facilities and improvements, and traffic/transportation improvements specified in the Lake Forest Transportation Mitigation (LFTM) Ordinance.

In 2010, an Implementing Agreement was executed between the Portola Center property owners and the City of Lake Forest further defining the development rights for the Project site and incorporating the Project's Orange County Central-Coastal Natural Communities Conservation Plan/Habitat Conservation Plan (NCCP/HCP) Minor Amendment approval allowing for the removal of natural habitat onsite through fulfillment of the Project's habitat mitigation requirements.

#### **1.5 PROJECT SITE LOCATION & SETTING**

The Portola Center site is located in the northern foothills of the City of Lake Forest, in the County of Orange, California; see Exhibit 1-1 – Portola Center Vicinity Map and Exhibit 1-2 – Portola Center Aerial Photo. The site is located northeast of the Foothill Transportation Corridor (SR-241), west of El Toro Road and south of existing

development. El Toro Road, Portola Parkway and Santiago Canyon Road provide regional access to the Project site. The undeveloped site is bisected in an east/west direction by Glenn Ranch Road and in a north/south direction by Saddleback Ranch Road.

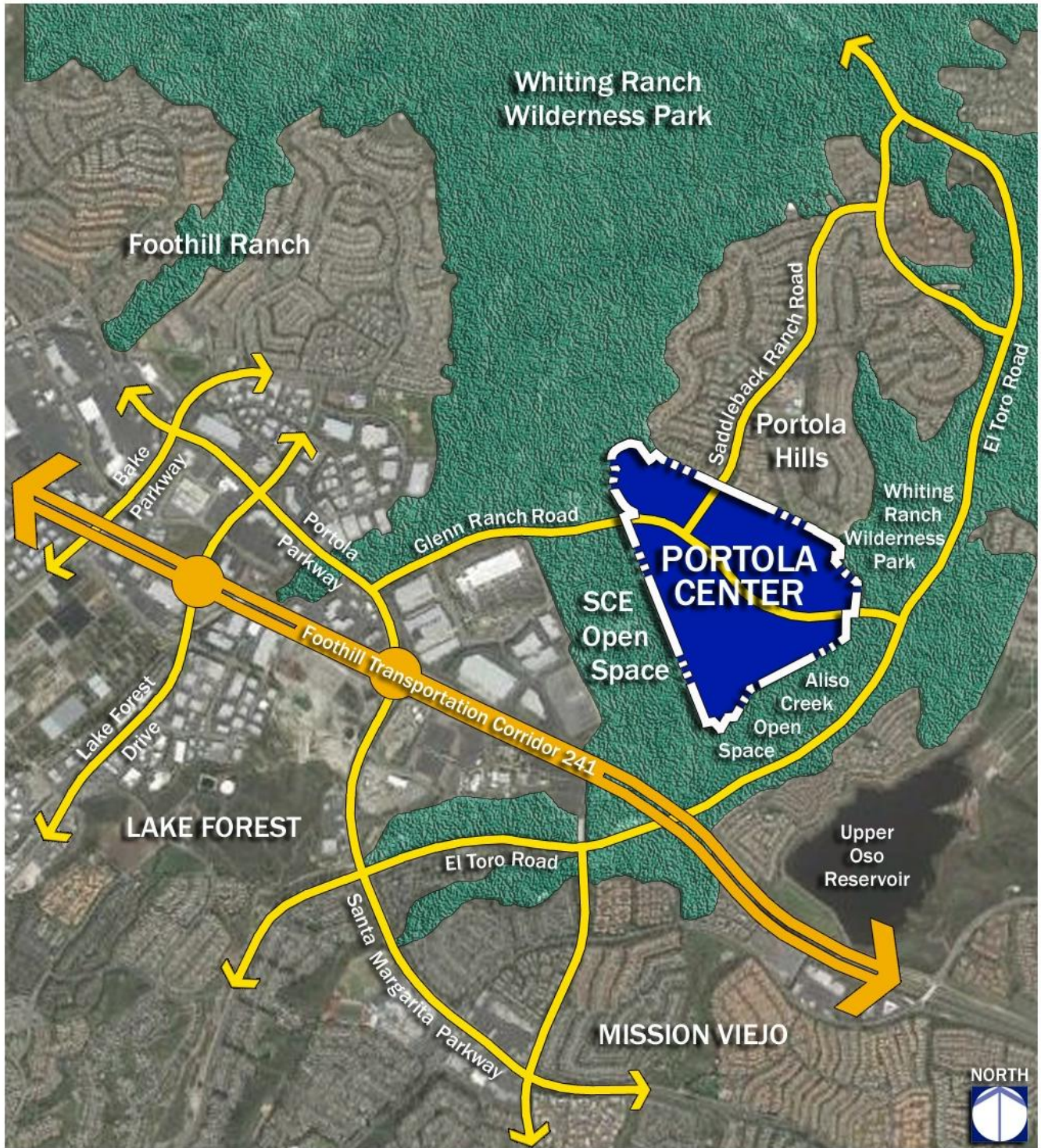
## **1.6 EXISTING SURROUNDING LAND USES**

Portola Center is located in a region that has undergone extensive urbanization over the past 18 years. With the exception of the Project site, development within the project vicinity is largely completed. The site comprises the southernmost portion of Portola Hills, a planned community that includes just under 2,200 single-family detached, single-family attached, and multi-family homes, the Portola Hills Elementary School, Orange County Fire Authority (OCFA) Fire Station #42, recreation facilities, and open space areas.

Other existing development in the region includes the Foothill Ranch Planned Community, located west of the Project site, which is comprised of residential, commercial, light industrial and employment land uses. The Painted Trails Planned Community is located southeast of the Project site and includes single and multi-family residential homes, parks and recreation facilities.

Immediately northwest and west of the Project site is the Whiting Ranch Regional Park, a 4,300-acre open space Regional Park which is part of the Central Coastal NCCP Reserve. To the south of the Project site is the Southern California Edison (SCE) easement/open space and a portion of the Foothill Ranch business park. To the east and southeast of the site are Aliso Creek and El Toro Road. Exhibit 1-1, Portola Center Vicinity Map, Exhibit 1-2, Portola Center Aerial Photo, and Exhibit 1-4, Lake Forest Project Vicinity Zoning Map, provide overviews of the uses and landscape around the Project site.

Saddleback Ranch Road and Glenn Ranch Road provide vehicular access from the Project site to major arterials, including El Toro Road, Portola Parkway, the Foothill Transportation Corridor, and the Interstates 5 and 404 freeways further to the west and southwest of the site.



**Exhibit 1-1  
Portola Center Vicinity Map**



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## Exhibit 1-2 Portola Center Aerial Photo





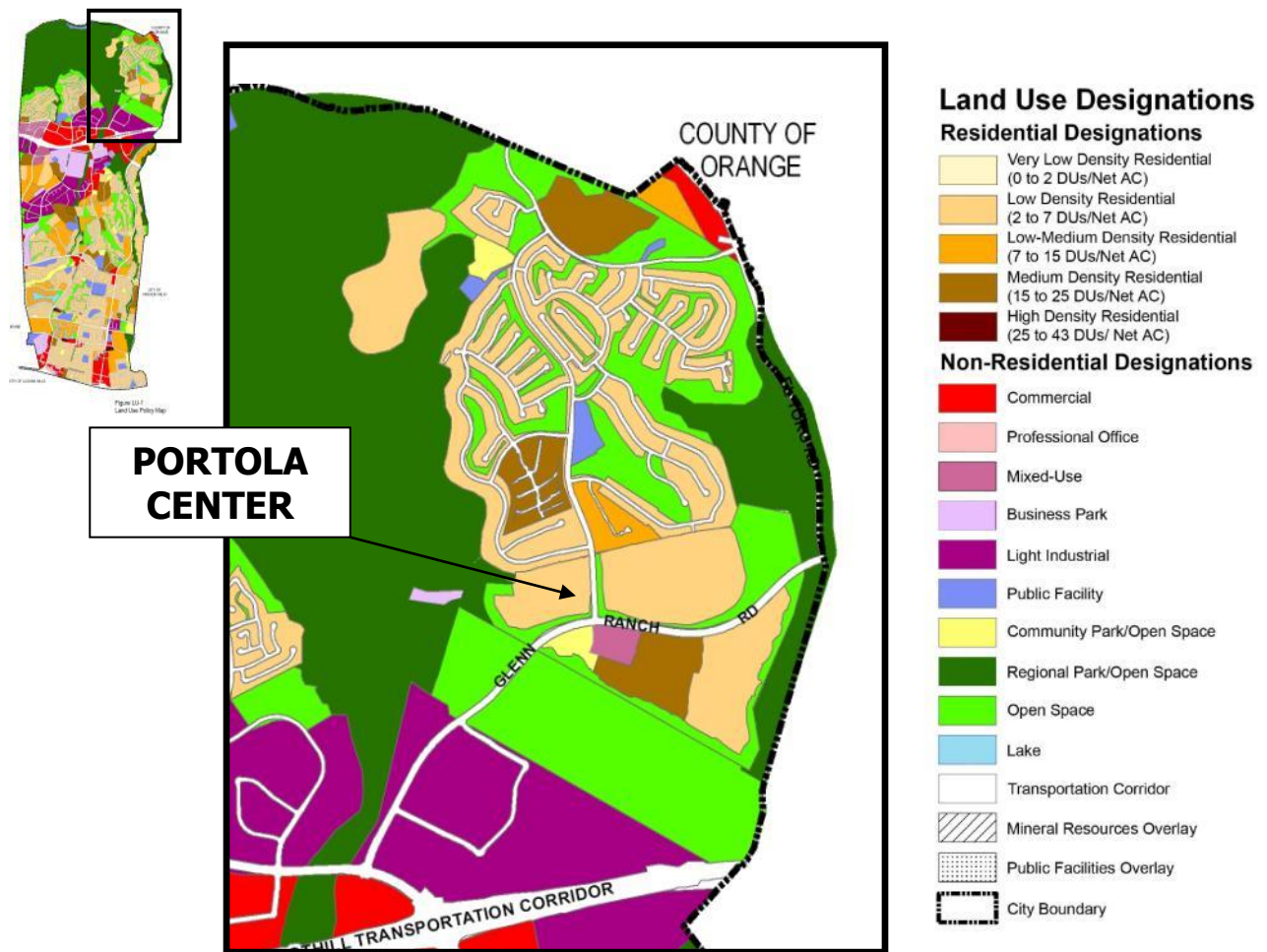
## 1.7 PLANNING CONTEXT

Portola Center will be developed within the context of the Portola Center Development Agreement and local and regional plans, policies, as well as various local, state, and federal regulations. Following is a summary of the regulatory framework for the Project.

### 1.7.1 City of Lake Forest General Plan

The City of Lake Forest General Plan lays out the land use framework for development in the City. On June 3, 2008, the City adopted General Plan Amendment 2008-02 for the Portola Center Project site as part of the Opportunities Study Area planning process. The City's updated General Plan contains the policies, land use designations, and guidelines for how new development, including the Portola Center Project site, will occur. Exhibit 1-3, Lake Forest General Plan Map, depicts the General Plan-designated land uses in the City of Lake Forest. The General Plan includes policies related to circulation, housing, conservation of natural resources, public facilities and public safety, and noise. This Area Plan must be consistent with the General Plan land use designations as well as applicable General Plan policies.

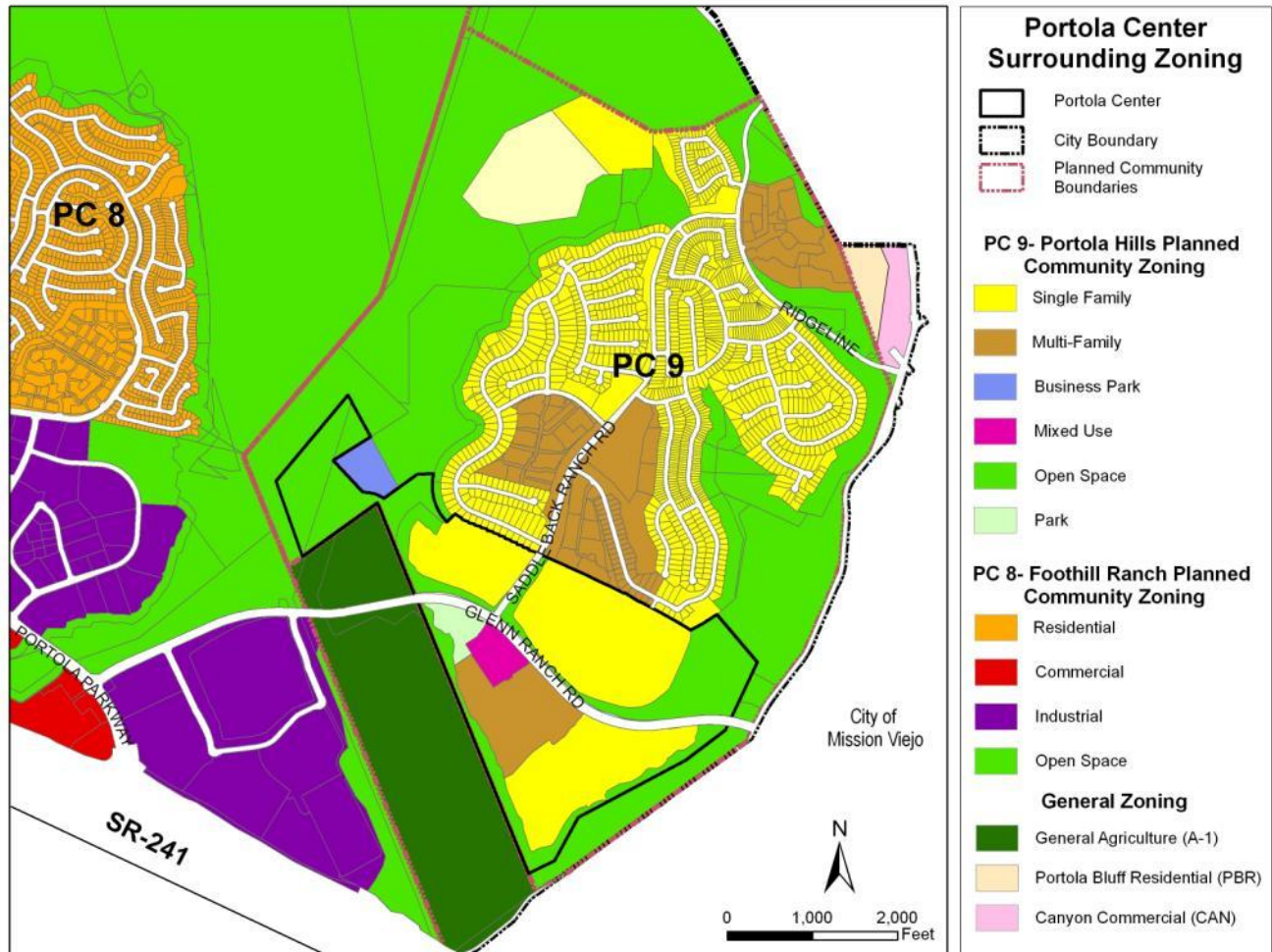
Given the scale of the project site, the General Plan Amendment 2008-02 land use designations were general in nature. The precise delineation of the proposed Area Plan land uses are defined by street alignments, presence of environmental resources, consultation with regulatory agencies, and compliance with the Development Agreement established intensity of development.



**Exhibit 1-3  
Lake Forest General Plan Designations**

### 1.7.2 City of Lake Forest Zoning Map

Zoning is the implementation of land uses identified by the General Plan. The zoning for the Portola Center project is designated by the Portola Hills Planned Community regulations and the Lake Forest Municipal Code. The zoning regulations for each property define the allowable uses, building restrictions such as building height, setbacks, and floor area ratio, and outline the process for conditional uses, site development plans, et cetera. Exhibit 1-4 shows the zoning for the Project site. Absent those zoning regulations and standards that are defined by this Area Plan and specific to the Portola Center Project, the Portola Center Project must comply with the more restrictive of the City of Lake Forest Zoning Ordinance or the Portola Hills Planned Community Regulations.



**Exhibit 1-4  
Lake Forest Project Vicinity Zoning Map**

### **1.7.3 PORTOLA HILLS PLANNED COMMUNITY REGULATIONS**

The Portola Center Project site falls within the Portola Hills Planned Community. The Portola Hills Planned Community Regulations allow for the creation of new Area Plans and Planning Areas and Planning Units for individual areas within its boundaries and the implementation of alternative development standards to be established by the new Area Plan. Section III of the Portola Hills Planned Community Regulations states that "alternative development standards may be established by approval of an Area Plan or Site Plan as described in Sections VII and XVIII." Section XVII further states that "An Area Plan may be approved which establishes alternative site development standards or uses for residential and nonresidential projects." Section XVII, "Area Plan Regulations and Procedures" specifies the content and procedures by which an Area Plan can be amended or created. Chapter 9 of this Area Plan contains detailed information on the Portola Center Area Plan Regulations and Procedures, including the Site Planning process and the subsequent development approvals required for the Project.

### **1.7.4 PORTOLA CENTER DEVELOPMENT AGREEMENT**

The City of Lake Forest and the Portola Center property owners entered into the Portola Center Development Agreement in 2008 which provided certain extraordinary public benefits to the City and vested certain developed rights for Portola Center. This Area Plan must be consistent with the requirements of the Portola Center Development Agreement. The Table of Contents from the Development Agreement is shown in Table 1-1 along with the section of this Area Plan where the required information can be found.

### **1.7.5 CENTRAL/COASTAL ORANGE COUNTY NCCP/HCP**

The Central/Coastal Orange County NCCP/HCP is a large-scale ecosystem-based multiple habitat, multiple species conservation plan established in 1996 that encompasses the central coastal portions of Orange County. Under the auspices of the State of California Natural Communities Conservation Plan and through the creation of a 37,000-acre preserve, the plan provides regional protection for threatened and endangered species and their native habitats within the plan area while allowing compatible land uses and appropriate development. The Portola Center Project has an approved NCCP/HCP Minor Amendment that allows for the removal of natural habitat onsite through fulfillment of the Project's habitat mitigation requirements. The landscape and community design guidelines defined in this Area Plan must be consistent with the Portola Center NCCP/HCP Minor Amendment.

### **1.7.6 LOCAL, STATE, AND FEDERAL REGULATORY FRAMEWORK**

Various local, state, and federal ordinances, laws, codes, and regulations will govern many aspects of the Project, including the process of constructing the Project to its completion and long-term operation. Some of those laws include the California Environmental Quality Act, the California Building Code, the Lake Forest Grading and Noise Ordinances, Orange County Fire Authority Fuel Modification and Fire Safety regulations, the Regional Water Quality Control Board National Pollution Discharge Elimination System (NPDES) Permit requirements for storm water runoff, the Occupational Safety and Health Administration (OSHA) and U.S. Environmental Protection Agency Laws and Regulations, and many others applicable to the construction and operation of new development.

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\* *Technical Reports are prepared as supplemental reports for the Project's Environmental Impact Report (EIR) under the California Environmental Quality Act Process.*

# PORTOLA CENTER AREA PLAN

## CHAPTER TWO

### **DEVELOPMENT CONCEPT**

#### **2.1 EXISTING CONDITIONS AND PROJECT DESIGN INFLUENCES**

#### **2.2 LAND USE PLAN & COMMUNITY STRUCTURE**

## **2.1 EXISTING CONDITIONS & PROJECT DESIGN INFLUENCES**

The design and configuration of land uses in Portola Center have been influenced by the physical characteristics of the site as well as surrounding land uses. These design influences are described in more detail below.

### **2.1.1 EXISTING STREETS AND TRAILS**

The Project site consists of three Planning Areas bisected by Glenn Ranch Road, which traverses the site in an east to west direction and Saddleback Ranch Road, which extends northeasterly from its intersection with Glenn Ranch Road.

The Aliso Serrano Riding & Hiking Trail is an existing dirt trail which runs through the center of the Project site along the north side of Glenn Ranch Road, extending from Aliso Creek east of the Project site to the Whiting Ranch Wilderness Park just west of the Project site. The Whiting Ranch Trail traverses the western edge of the Northwest Planning Area and connects to both the Whiting Ranch Wilderness Park vehicle parking area and Glenn Ranch Road. Additional hiking trails exist offsite in the Southern California Edison Transmission Corridor property south of the Project site and the Project site supports incidental foot trails.

### **2.1.2 TOPOGRAPHY AND FEATURES**

The Project site has a combination of steep hillsides and large graded pads. Elevations onsite range from 1,260 Above Mean Sea Level (AMSL) in northern most portions of the site to 890 feet AMSL in the southeastern portions of the site. The site currently supports a mix of native and non-native habitat. The site has several randomly occurring knolls separated by a series of minor drainage courses which are tributary to Aliso Creek. A large earthen detention basin, which accommodates storm water runoff from Portola Hills, is located at the southwest corner of the intersection of Glenn Ranch Road and Saddleback Ranch Road, and drops at a 39% grade to 123 feet below Glenn Ranch Road. Natural grades exceed 30% in a number of areas on the Project site. Exhibit 2-1 below shows the existing topography and slopes on the site.

Several manmade features exist on the property, including the earthen detention basin located southwest of the intersection of Glenn Ranch Road and Saddleback Ranch Road, several bench drains along the manufactured slopes adjacent to existing residential development of Portola Hills and along the roadways, and limited storm water, potable water, and communication facilities. The remnants of a construction water storage feature are located south of Glenn Ranch Road.

### **2.1.3 VIEWS**

Significant off-site views are available from the eastern, western and southern edges of the Project site. Views of the Whiting Ranch Wilderness Park and portions of O'Neill Regional Park exist from the higher elevations of the Project site north of Glenn Ranch Road. In addition, the highest elevations of the property have long range views which overlook portions of the Cities of Lake Forest and Mission Viejo out to the Pacific Ocean, as well as Saddleback Mountain and other open space and urbanized areas to the east, west, and south of the Project site.

### **2.1.4 PREVIOUS OPEN SPACE DEDICATIONS**

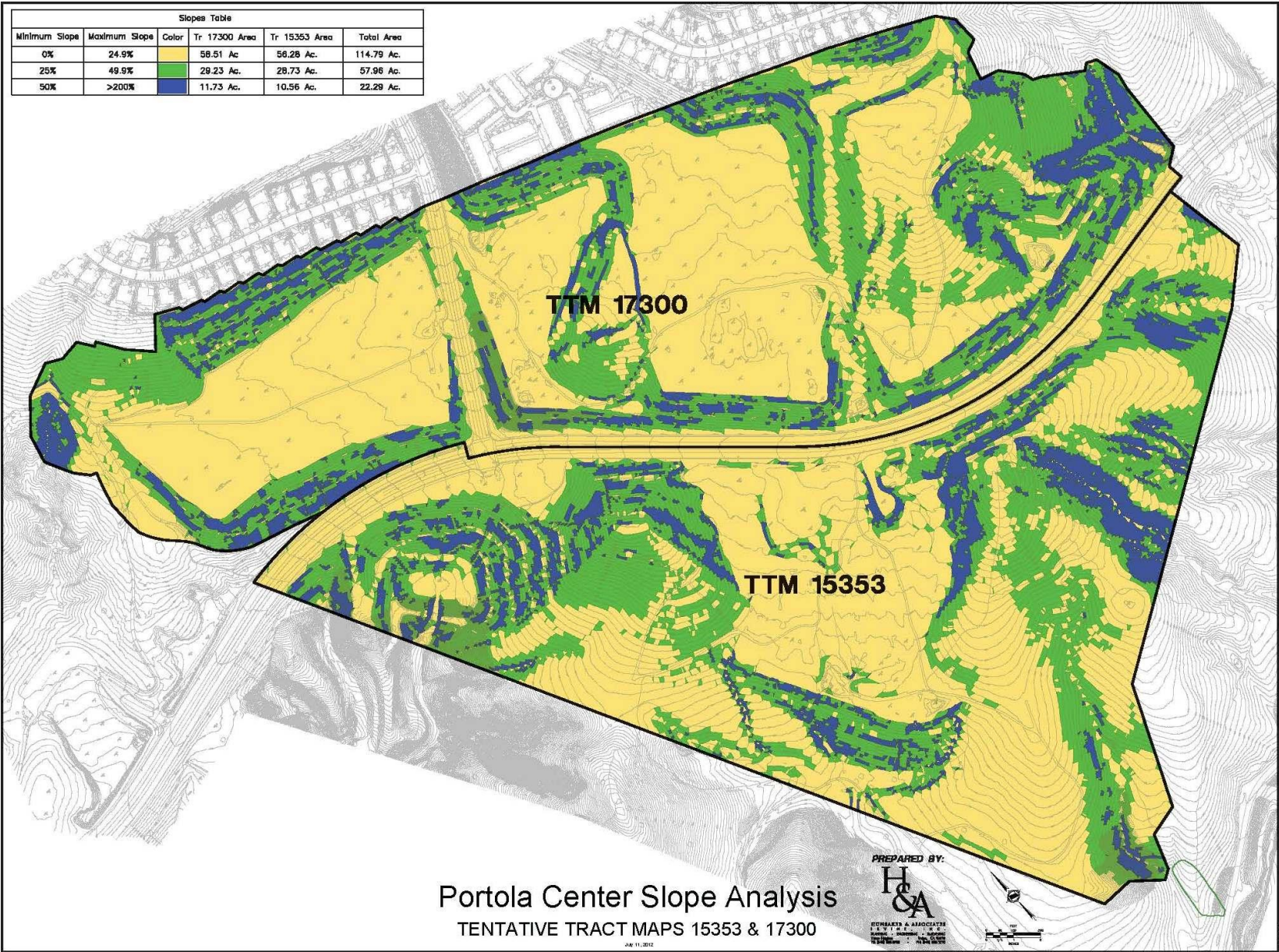
Beginning with the original Portola Hills Project, 15.25 acres of open space were dedicated to the County of Orange for inclusion into the Whiting Ranch Regional Park. In 2010, the project applicants advanced the dedication of additional approximately 32 acres of open space to the City of Lake Forest which was later transferred to the County and added to the County's parkland around the Project site. The transfer of land facilitated the creation of the City's Glass Creek Sports Park Complex currently under construction. As part of the 32 acres of dedication, the Project retained the right to use designated portions of these open space areas for specific improvements, including habitat restoration and fuel modification. Exhibit 2-2 below shows the previous open space dedications for the Project.

### **2.1.5 LAND USE OBJECTIVES**

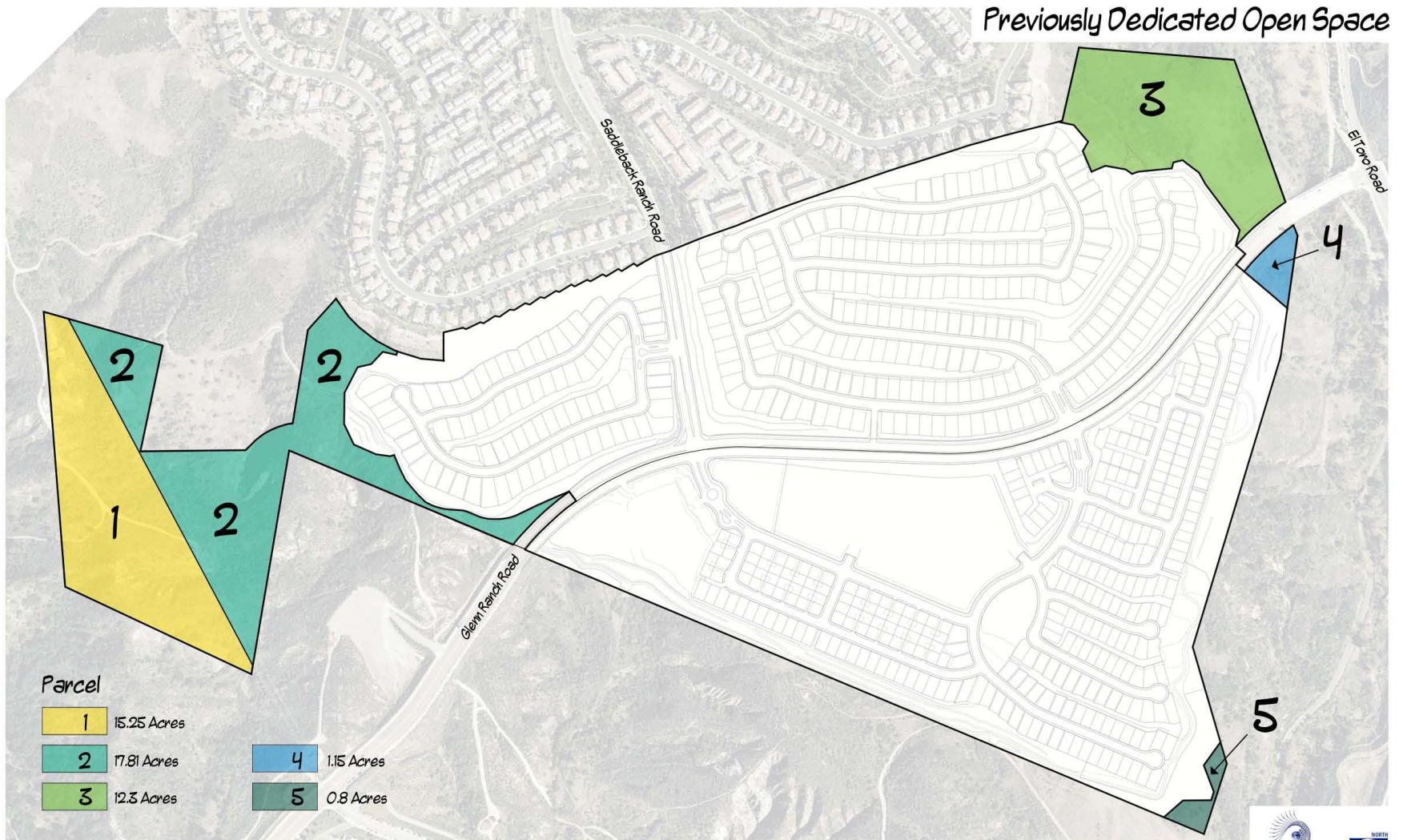
The Project's overall land use objectives—to provide a balanced mix of single family and multifamily neighborhoods, active and public and private uses, development that is compatible with its surroundings, a balanced grading and landform plan, and a distinct community image and identity for the Project—together with the existing conditions, constraints, and opportunities onsite and surrounding the Project site lead to the comprehensive land use plan for the Portola Center Project. The Project's land use plan achieves a balance between the Project's planning objectives and the various other design influences by creating a new community with a variety of residential uses, a small neighborhood-oriented commercial component, and integrated public and private active and passive recreational opportunities that are compatible with the surrounding natural and built environment.



Slopes Table					
Minimum Slope	Maximum Slope	Color	Tr 17300 Area	Tr 15353 Area	Total Area
0%	24.9%	Yellow	58.51 Ac.	56.28 Ac.	114.79 Ac.
25%	49.9%	Green	28.23 Ac.	26.73 Ac.	57.96 Ac.
50%	>200%	Blue	11.73 Ac.	10.56 Ac.	22.29 Ac.



**Exhibit 2-1  
Existing Topography**



# PORTOLA CENTER



**Exhibit 2-2  
Previously Dedicated Open Space**

## **2.2 LAND USE PLAN & COMMUNITY STRUCTURE**

Portola Center consists of three Planning Areas and eight Planning Units. The two Planning Areas north of Glenn Ranch Road, located west (PA-1) and east (PA-2) of Saddleback Ranch Road, are designed as single family hillside residential neighborhoods. Each of these Planning Areas constitutes an individual Planning Unit. PA-1 includes the single family neighborhood R-1 and PA-2 includes the single family neighborhood R-2. The third Planning Area, the Portola South Planning Area (PA-3), is south of Glenn Ranch Road and includes six Planning Units, including four single family residential neighborhoods (R-3 through R-6), one multi-family residential neighborhood (MF R-7), and the Neighborhood Mixed Use Center (MU-1). Each of these three Planning Areas is planned with its own pedestrian-oriented neighborhood parks that serve as focal points for the entry to the neighborhood, recreation, and social gathering. The Project's Planning Areas are shown in Exhibit 2-3 below. Table 2-1 shows the various land uses for the Project and the acreages associated with each land use, including residential areas, open space, circulation, parks, and trails, and Exhibit 2-4 shows the Land Use Plan and individual Planning Units for the Project.

The Portola Center Community Structure is broken into 9 major Project Features: Project Entries, the Mixed Use Center, the Multifamily Neighborhood, the Single Family Neighborhoods, the Portola South Promenade Street, the Project Parks and Trails, Project Open Space and Fuel Modification Zones, and the Circulation System. Each of these Project Features is further described below.

### **2.2.1 PROJECT ENTRIES**

All of the Project entries are designed to be gated entrances. These gated entrances have been designed in accordance with the Orange County Standard Plan 1107 to provide the proper distances for vehicle stacking at the entry gates during the morning and evening peak hours of traffic flow. The Project entries will serve as a major component of the community character of the neighborhoods in the Project. The entries are designed to have expanded landscape buffers and enhanced medians with landscape and community design elements that set the tone for the communities which they serve. The project entries are also designed to maximize efficient vehicle movement into and through the Project's neighborhoods with each entry designed with two lanes of ingress.

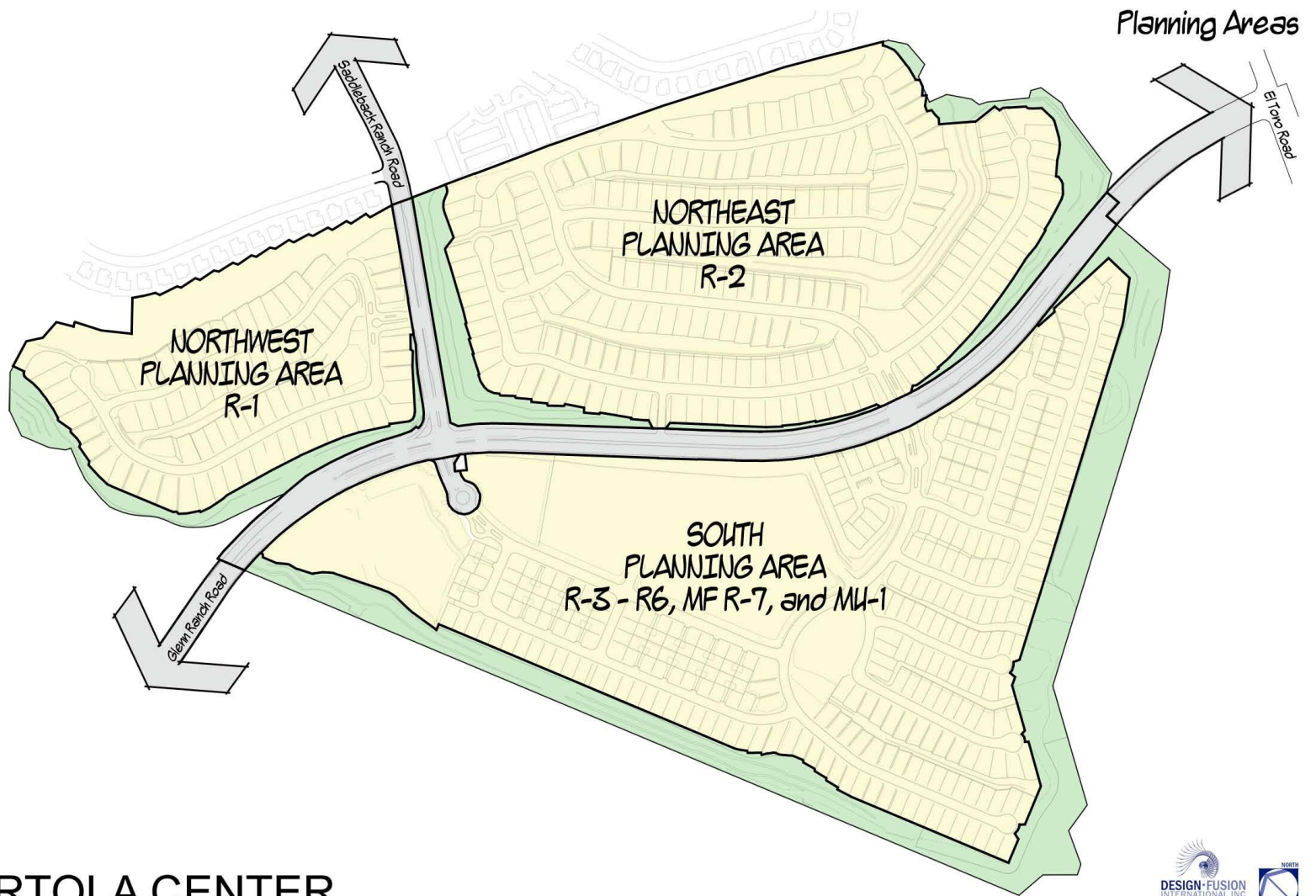
### **2.2.2 MIXED USE CENTER**

The Mixed Use Center is intended to serve as the architectural and activity focal point for the residential neighborhoods and recreational uses of the Portola South Planning Area. The Mixed Use Center is an approximately 2-acre site located at the southeastern corner of Glenn Ranch Road and Saddleback Ranch Road directly across from the 5-acre public Community Park. The site benefits from direct access from the community entry to the South Planning Area, its western entrance at the intersection of Glenn Ranch Road and Saddleback Ranch Road. The site is planned for 57 multi-family affordable homes above 10,000 square feet of street-level neighborhood-serving commercial/retail uses. Chapter 7 specifies which commercial/retail uses are permitted in the commercial space planned for the site. The immediate adjacency of the affordable homes, the 5-acre Community Park, the multifamily neighborhood, and the close proximity of the Project's single family neighborhoods to these neighborhood-serving commercial uses will provide residents, visitors, and park users convenient pedestrian access to the Mixed Use Center.

### **2.2.3 MULTI-FAMILY NEIGHBORHOOD**

The multifamily neighborhood to the east of the Mixed Use Center is planned for a total of 256 multifamily homes with an average density range of 18 to 22 dwelling units per acre. The multifamily neighborhood in conjunction with the smaller lot courtyard-style single family neighborhood to its southwest will serve as an important transition to the more traditional single family neighborhoods in the southern and eastern portions of the Portola South Planning Area. The multifamily neighborhood is expected to provide homes to young professionals and working families in a new and vibrant residential community with convenient access to the regional shopping and employment centers of central Orange County. The multifamily neighborhood will include private recreational facilities for its residents and guests. The neighborhood will provide adequate onsite parking for both residents and guests. The architectural styles and landscaping and community design elements of this neighborhood will be compatible with the other neighborhoods in Portola South.





# PORTOLA CENTER



**Exhibit 2-3**  
**Portola Center Planning Areas**



## **2.2.4 SINGLE FAMILY NEIGHBORHOODS**

Portola Center contains six distinct single family neighborhoods. The Planning Areas north of Glenn Ranch Road are designed as lower-density single family hillside neighborhoods of comparable density to the existing single family neighborhoods in Portola Hills. The Northwest Planning Area supports the planning unit Neighborhood R-1. The Northeast Planning Area supports the planning unit Neighborhood R-2. The North Planning Areas support lots sizes between 5,500 and 6,000 square feet with lots as large as 7,000 square feet. The Portola South Planning Area contains four distinct single family neighborhoods (Neighborhoods R-3 through R-6) with a range of housing sizes and lot sizes, with lot sizes ranging from just under 3,000 square feet to 5,000 square feet with lots as large as 6,500 square feet in Neighborhood R-3. These neighborhoods will provide a range of housing options, including entry-level homes, move-up homes, and executive homes. These single-family neighborhoods are configured to provide a transition from the smaller lot neighborhoods on the interior of the Project site to the larger-lot neighborhoods on the perimeter of the Project site.

## **2.2.5 PORTOLA SOUTH "PROMENADE" STREET**

The Portola South Planning Area is defined by its "Promenade" Street that is designed to support efficient vehicle, pedestrian, and bicycle use through the neighborhoods in Portola South, to the Project's parks, recreational areas, and trails system, and between the Project entries. Internally, the Portola South Promenade Street is designed as a pedestrian-oriented street with landscaped parkways and an enhanced pedestrian pathway throughout its entire length. This enhanced pedestrian pathway provides connectivity from its beginning along Saddleback Ranch Road at the Project's northern most boundary to the Aliso Serrano Regional Riding and Hiking Trail, to the Project's western community entrance at the Glenn Ranch Road/Saddleback Ranch Road intersection, to the 5-acre Community Park, Mixed Use Center, and neighborhoods in Portola South, to the Central Park and Community Recreation Center, and finally to its termination at the neighborhood park inside the entrance to the Northeast Planning Area.

## **2.2.6 PARKS AND TRAILS**

The Portola Center Project is planned with a hierarchy of park and trail facilities designed to provide a wide range of passive and active recreational uses. The bulk of these facilities reside in the Portola South Planning Area, including the 5-acre Community Park planned at the southwest corner of the Glenn Ranch Road/Saddleback Ranch Road Intersection. This public park will be dedicated to the City of Lake Forest by the Portola Center Project and owned and operated by the City of Lake Forest.

Two additional pedestrian parks and recreational facilities are planned for the Portola South Planning Area, including a 1.7-acre park at the center of the Planning Area supporting a multi-use field, a community recreation center, and ancillary passive recreational uses, and a 3.3-acre park along the eastern perimeter of the Project supporting neighborhood-oriented recreational uses and uses integrated into the Project's Perimeter Trail System. Finally, the multi-family neighborhood will include additional private recreational facilities for its residents.

The Portola Northwest and Northeast Planning Areas each contain an approximately half-acre neighborhood park that supports neighborhood-serving recreational uses, picnic areas, and passive recreational uses. Chapter 6 provides conceptual park plans for each of the 5 pedestrian-oriented Neighborhood Parks in Portola Center.

In addition to the park system, Portola Center includes an approximately 1.5-mile-long amenitized public use trail system, the "Perimeter Trail", with exercise/activity stations ("par courses"), viewing and rest areas, and picnic areas. This trail begins in the southeastern corner of the 5-acre Community Park, follows the southwestern and southeastern perimeter of the Portola South Planning Area, providing multiple pedestrian connections to the neighborhoods of Portola South, connects to an existing trail system on the SCE Transmission Corridor Property, and connects out to the south side of Glenn Ranch Road near the eastern most Project boundary.

Portola Center also includes landscaping and fencing enhancements to those portions of the existing Aliso Serrano Riding & Hiking Trail inside the Project boundaries and a relocation of a portion of this trail along the

perimeter of the Northwest Planning Area. As mentioned above, the Project also includes an enhanced pedestrian pathway, an expanded off-street concrete pedestrian sidewalk (8' wide) along the east side of Saddleback Ranch Road that connects the neighborhoods of Portola Hills to the Mixed Use Center, the 5-acre Community Park, and the neighborhoods and parks in Portola Center. More information on the Project's circulation and trail system can be found in Chapter 4, Circulation, and Chapter 6, Parks, Recreation, and Trails, respectively. Lastly, the Project includes a small neighborhood trail in the northeastern corner of the Northeast Planning Area that connects to the Portola Hills Community to the north at the Malabar/La Quinta stub street.

### **2.2.7 OPEN SPACE AND FUEL MODIFICATION ZONES**

Beginning with the original approval of Portola Hills and industrial and commercial uses in Portola Center, the Portola Center Project has resulted in the advanced dedication of more than 47 acres of natural open space to the Whiting Ranch Wilderness Park and Aliso Creek Open Space Preserve. Portola Center has approximately 44 acres of internal open space areas and onsite fuel modification zones, approximately 23% of the total project area. Internal open space areas are generally in and around the Project's residential areas and are planted with more ornamental landscaping consistent with the landscape theme for the Project.

Fuel Modification Zones (FMZs) are generally located along the perimeter of the Project site and serve as a buffer between the existing offsite "wildland" areas vegetated with natural habitats and the residential neighborhoods in the Project. The FMZs are planted with more naturalized low fuel load vegetation meant to serve multiple functions: blending with the natural offsite open space areas, fuel modification requirements, and visual/aesthetic requirements in areas that are visible from the public Right-of-Way and include MSE retaining walls. Chapter 8.0, Landscape Design Guidelines, contains more detailed information on the Project's Fuel Modification Zones.

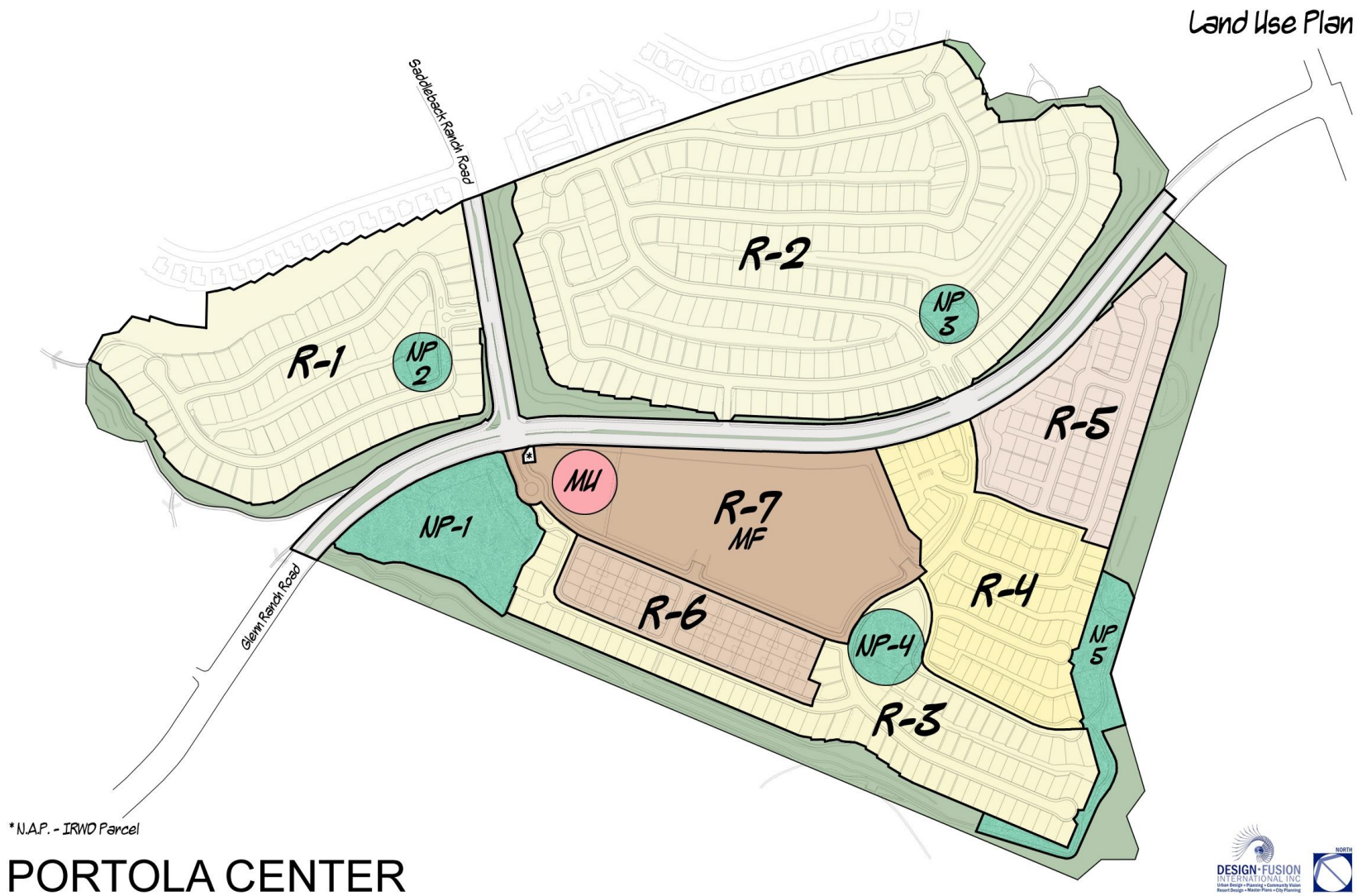
### **2.2.8 CIRCULATION SYSTEM**

Portola Center includes a hierarchy of new residential streets, including a "Promenade Street", internal neighborhood streets, and private driveways and courtyards. The Project's private streets include parkways on both sides and the Project proposes landscaped medians along Glenn Ranch Road and Saddleback Ranch Road within the Project boundaries. New streets will comprise approximately 29 acres. As a gated community, the internal streets in Portola Center will be privately maintained. Chapter 4 describes the Circulation Plan and provides additional detail on the hierarchy of residential streets in Portola Center.

### **2.2.9 AFFORDABLE HOUSING**

The City of Lake Forest requires the provision of a certain amount of Affordable Housing with new development projects. To meet the City's affordable housing requirements, Portola Center includes two forms of affordable housing: 57 low- and moderate-income multifamily homes within the Mixed Use Center in the Portola South Planning Area and 18 second units geographically distributed and attached to the single family homes in the North Planning Areas. The 57 affordable homes will be managed by a professional property management company that specializes in managing affordable housing. For more information on Portola Center's Affordable Housing Plan, please see Appendix B: Portola Center Affordable Housing Implementation Plan.





**Exhibit 2-4  
Conceptual Land Use Plan & Planning Units**



**TABLE 2-1: PORTOLA CENTER LAND USES**

PLANNING UNITS (NEIGHBORHOODS)	LAND USE TYPE	LAND USE DESCRIPTION	ACREAGE	DWELLING UNITS
R-1	SF	Single Family Residential	13.6	81
R-2	SF	Single Family Residential	35.7	223
<b>SUBTOTAL:</b>			<b>49.3</b>	<b>304</b>

R-3	SF	Single Family Residential	9.9	85
R-4	SF	Single Family Residential	8.4	83
R-5	SF	Single Family Residential	7.0	80
R-6	SF	Single Family Residential	4.8	65
R-7	MF	Multifamily Residential	13.8	256
MU-1	MU	Mixed Use (Residential & Commercial)	2.0	57
<b>SUBTOTAL:</b>			<b>45.9</b>	<b>626</b>

PARKS & TRAILS	LAND USE TYPE	LAND USE DESCRIPTION	GROSS ACREAGE	NET ACREAGE	PUBLIC PARK CREDIT
PARK 1	NP-1	Public Neighborhood Park	6.30	5.00	5.75
PARK 2	NP-2	Private Neighborhood Pedestrian Park	0.50	0.50	0.13
PARK 3	NP-3	Private Neighborhood Pedestrian Park	0.50	0.50	0.13
PARK 4	NP-4	Private Neighborhood Pedestrian Park & Recreation Center	1.70	1.60	0.40
PARK 5	NP-5	Private Neighborhood Pedestrian Park	3.30	2.60	0.65
TRAIL 1	TR	Amenitized Public Use Trail	1.50	1.50	1.73
<b>SUBTOTAL:</b>			<b>13.80</b>	<b>11.70</b>	<b>8.78</b>

CIRCULATION & OPEN SPACE	LAND USE TYPE	LAND USE DESCRIPTION	GROSS ACREAGE
PROJECT ENTRIES	C	Gated Entrances	1.8
PRIVATE STREETS	C	Internal Streets & Private Driveways	28.9
FIRE ACCESS	C	Utility Easements, Fire & Common Access	0.5
PUBLIC STREETS	C	Glenn Ranch Road & Saddleback Ranch Road	11.8
COMMUNITY OPEN SPACE	OS	HOA Open Space & Fuel Mod. Areas	44.0
<b>SUBTOTAL:</b>			<b>87.0</b>

<b>TOTAL SITE ACREAGE:</b>	<b>196.0</b>
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# PORTOLA CENTER AREA PLAN

## CHAPTER THREE

### **LANDFORM AND GRADING PLAN**

- 3.1 EXISTING LANDFORM**
- 3.2 GRADING PLAN**
- 3.3 RETAINING WALLS**
- 3.4 GRADING DEVELOPMENT STANDARDS**
- 3.5 EROSION CONTROL**

### **3.1 EXISTING LANDFORM**

The Portola Center Project site has a combination of steep hillsides and large graded pads in its existing state. Onsite elevations range from 1,260 Above Mean Sea Level (AMSL) in the northeastern corner of the site to 890 AMSL in the southeastern corner of the site. Much of the 196-acre property has been previously cleared and rough graded as part of the development of the existing Portola Hills Planned Community. The site currently supports a mix of native and non-native habitat as well as incidental foot trails, a stretch of the Aliso Serrano Regional Riding and Hiking Trail, the trailhead and portion of the Whiting Ranch Coyote Brush Trail, an earthen flood control basin, and limited storm water, potable water, wastewater, and communication facilities.

### **3.2 GRADING PLAN**

The site underwent preliminary grading activities primarily in the Northwest and Northeast Planning Areas as part of the development of the Portola Hills Community. Exhibit 3-1 ("Existing Topography & Previous Grading") shows the site in its existing state in three dimensions. The development of the Project site would result in the Northwest and Northeast Planning Areas retaining their highest existing elevations of 1,150 feet and 1,260 feet AMSL, respectively. The grades of the intersection and those of Glenn Ranch Road and Saddleback Rancho Road would remain unchanged with the development of the Project. The development of the South Planning Area would result in a peak elevation at the top of the site (near Glenn Ranch Road) of approximately 1,075 feet AMSL. All three Planning Areas are designed with neighborhoods that terrace down from the highest elevations to the lower elevations of the site. The Perimeter Trail along the southern perimeter of the site generally traverses the ridge of the site at elevations ranging from 980 feet to 1040 feet AMSL. The southeastern edge of the site is approximately 890 feet AMSL. The grading plan does not impact the previously dedicated open space areas. All areas offsite will retain their natural form and function.

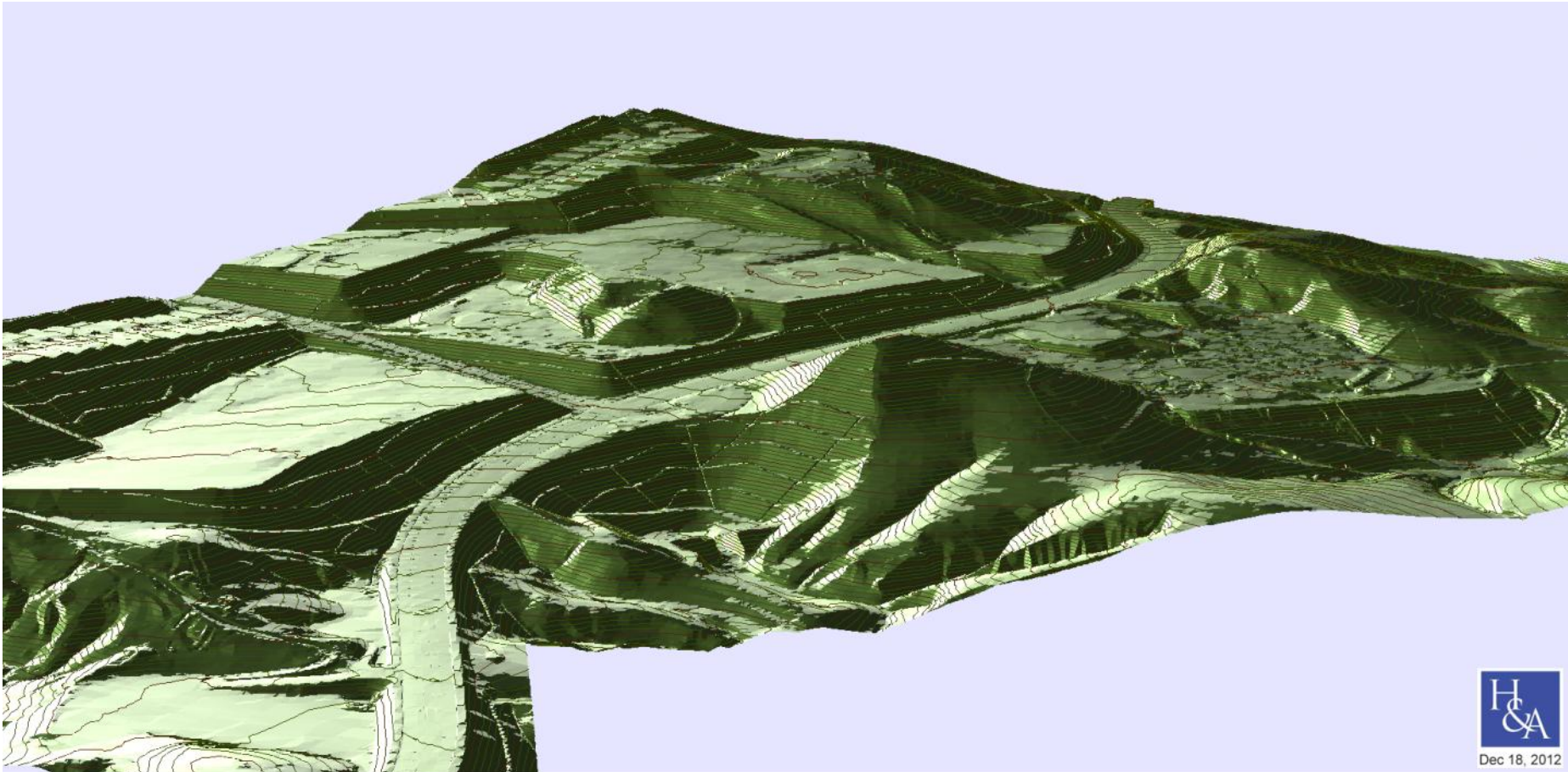
The grading plan anticipates that each of the major planning areas, the Northwest, Northeast, and South, will be mass graded in distinct phases. The grading operation for the Portola South Planning Area involves a total amount of approximately 2.25 million cubic yards of cut and fill; the Portola Northwest Planning Area involves a total amount of approximately 370,000 cubic yards of cut and fill; and the Portola Northeast Planning Area involves a total amount of approximately 1.5 million cubic yards of cut and fill. Each Planning Area is designed to balance the cut and fill areas internally, however approximately 550,000 cubic yards of select fill material located on the Portola South site will be exchanged with fill material on the Portola North sites. This select fill material will be used as backfill material behind the MSE retaining walls planned throughout the Project site. In order to minimize impacts to traffic circulation on Glenn Ranch Road and Saddleback Ranch Road, the exchange of fill material between the Planning Areas shall be confined to manned and signal-controlled construction crossing points with the soil hauling restricted to occur outside of the peak hours of traffic.

Exhibits 3-2, 3-3, and 3-4 show the proposed grading concept for the Project in three dimensions. A major component of the Project Grading Plan includes the use of MSE and conventional retaining walls. These design components are discussed in more detail below. The Project's grading and development phasing plan and the logistics of moving dirt from one planning area to another are discussed in more detail in the Project's Public Facilities Financing & Phasing Plan (Appendix A to this Area Plan).

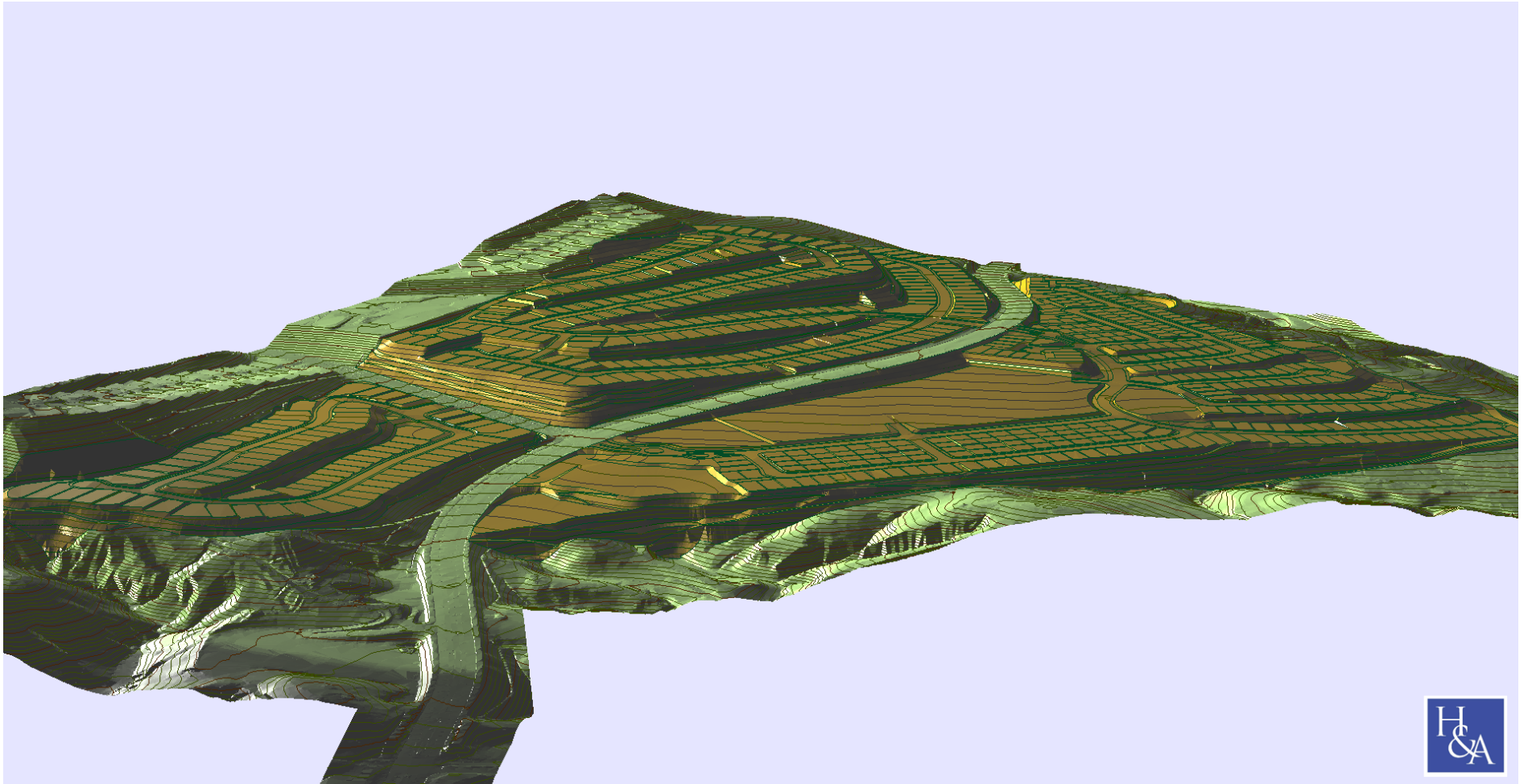
### **3.3 RETAINING WALLS**

The Portola Center Project site presents excellent view opportunities and the potential for unique hillside neighborhoods. The Project utilizes a balance of slopes, landscaping, and a hierarchy of retaining walls to create a hillside community that fits with the context of the site and the surrounding natural landscape. The Project utilizes Mechanically Stabilized Earth (MSE) and conventional retaining walls to create terraced hillside neighborhoods in the Portola North Planning Areas and to create larger development areas for a mix of neighborhoods, park and trail uses, and public view areas in the Portola South Planning Area. In addition to serving as an integral component of the site's grading and landform design, the Project's retaining walls preserve the prominent off-site views for its neighborhoods and create new public view opportunities along its parks and trails. Along open space areas, MSE retaining walls have the added benefit of enhancing the defensibility of the Project's neighborhoods from wildland fires. Exhibits 3-5 and 3-6 below show the layout of the Project's various retaining walls.



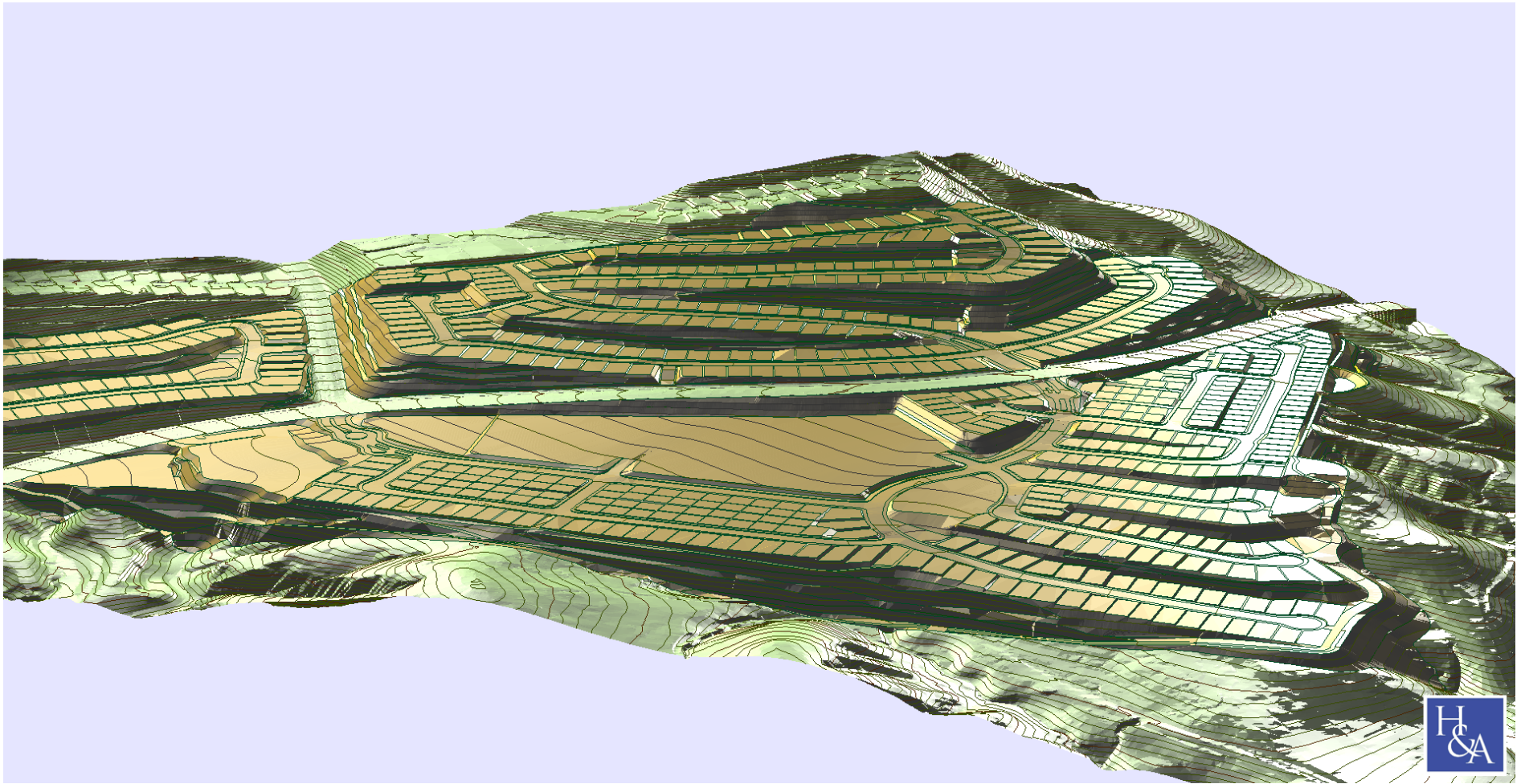


**Exhibit 3-1**  
**Existing Topography & Previous Grading**

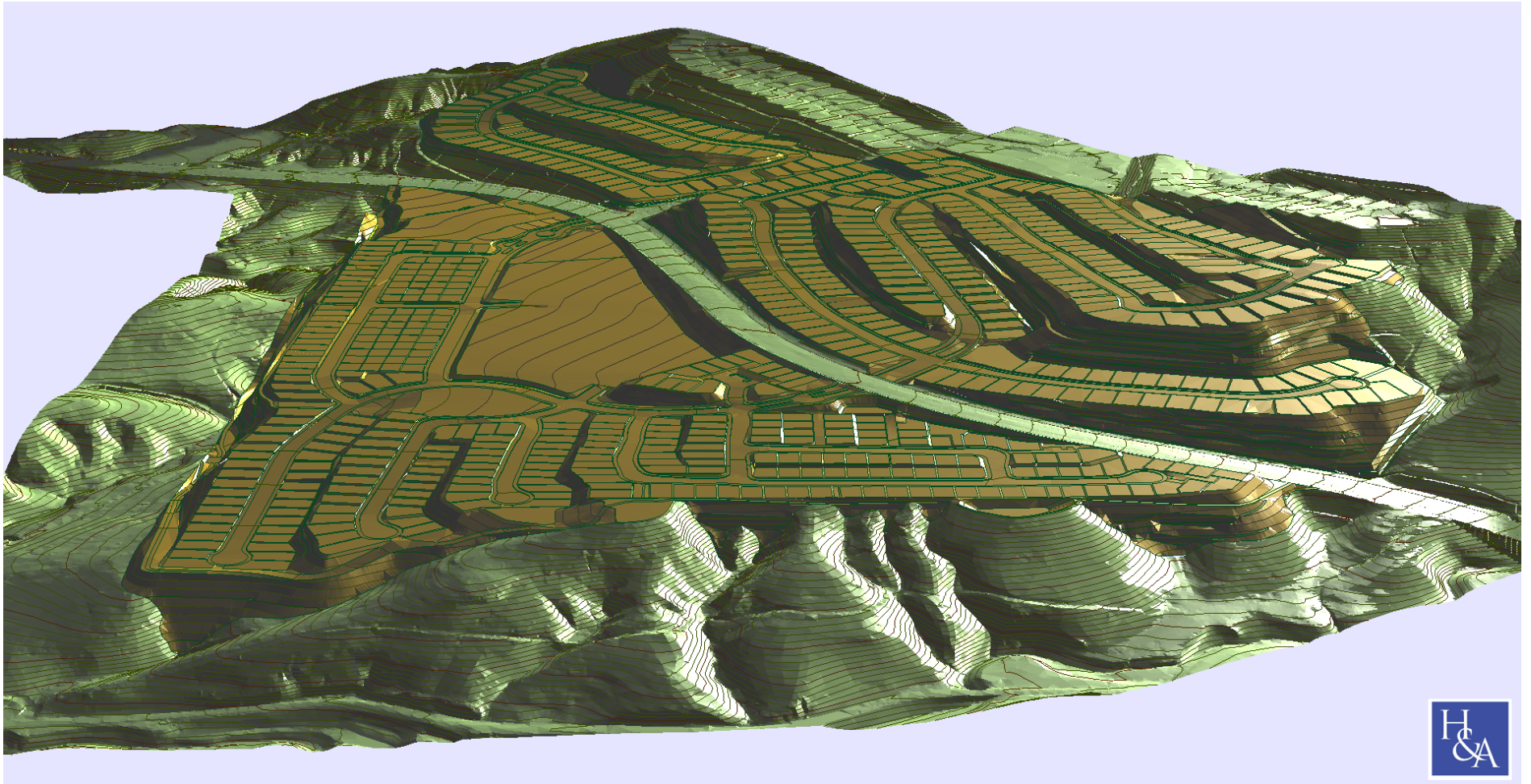


**Exhibit 3-2**  
**Grading Concept (View Looking East)**

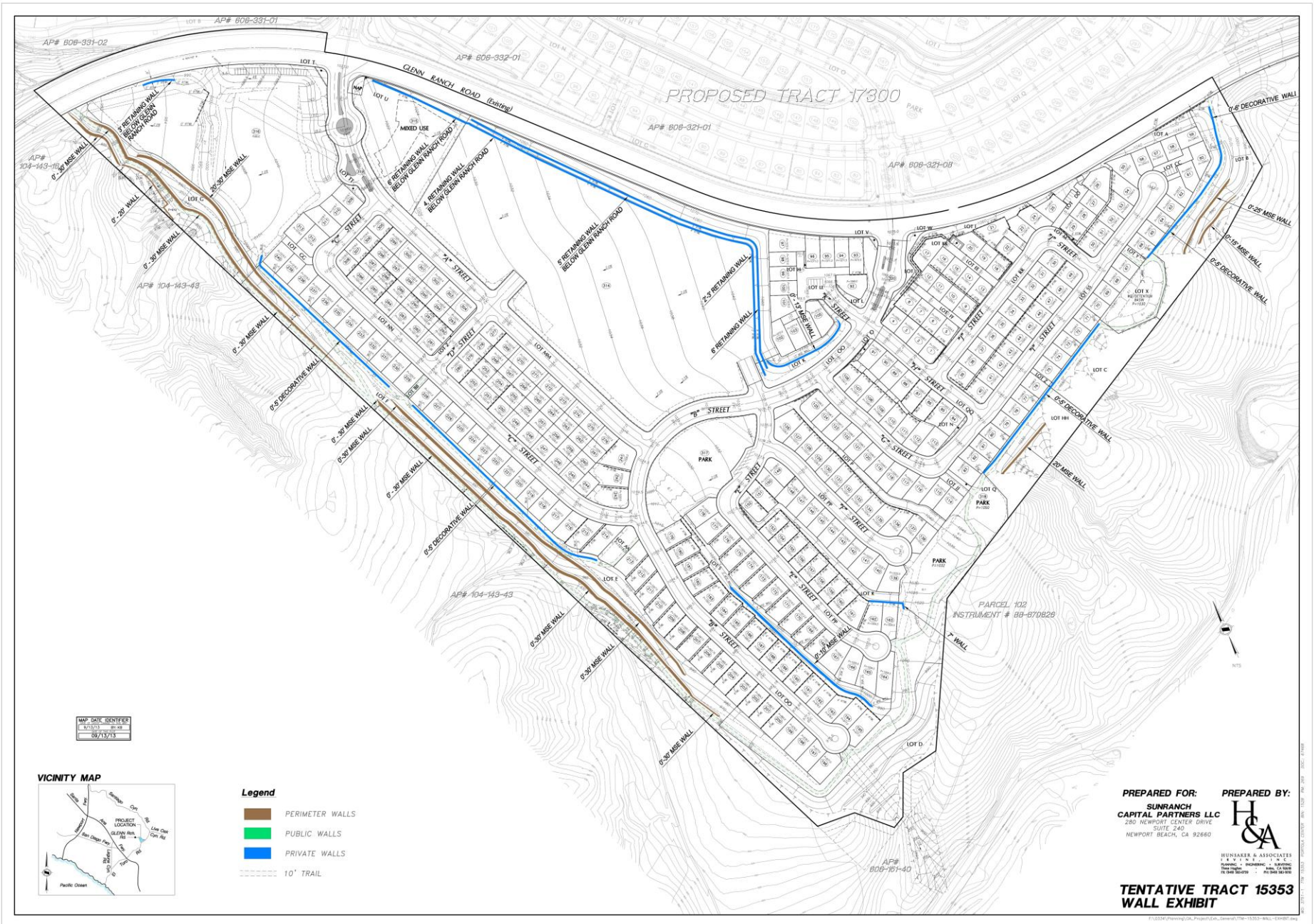




**Exhibit 3-3**  
**Grading Concept (View Looking Northeast)**



**Exhibit 3-4**  
**Grading Concept (View Looking Northwest)**



**Exhibit 3-5  
Portola Center South Retaining Walls**



**Exhibit 3-6  
Portola Center North Retaining Walls**

### ***Mechanically Stabilized Earth (MSE) Retaining Walls***

The MSE Wall is a gravity and soil reinforced retaining wall system utilizing segmental concrete blocks along with geosynthetic reinforcement and compacted soils which depends on its weight and geometry to resist lateral earth pressures and other lateral forces, providing long-term durability and protection against landslides. Each MSE retaining wall block has an open "planting pocket" which will serve as a planter for vegetation to cover the face of the wall. This will allow the wall to blend into the nearby landscaping.

In the Portola Center Project, MSE retaining walls perform dual functions: as retaining walls to create hillside neighborhoods in the Portola North Planning Areas and as a fire protection in the Project's Fuel Modification Zones. The Project has been designed to use a balance of these walls in discrete areas and to minimize the individual heights of MSE walls in the more visible Portola North Planning Areas to 20 feet.

### ***Pedestrian-Scale Decorative Retaining Walls***

Smaller, pedestrian-scale conventional retaining walls are planned throughout the Portola Center Project. These walls are used for a variety of purposes, including: to create a modest but important vertical separation between private residential areas and public trail areas; to reduce the scale of the larger MSE walls; to facilitate the efficient design and layout of neighborhoods; and to enhance the aesthetic appeal of the built components of the Project through the use of decorative block walls in conjunction with landscaping. Pedestrian scale retaining walls can be found along the hillside edge of the Aliso Serrano Riding and Hiking Trail along Glenn Ranch Road, along the inside edge of the Perimeter Trail on the Portola South Planning Area, as private rear and side yard walls, and at various other locations in the Project.

## **3.4 GRADING DEVELOPMENT STANDARDS**

The process of grading each Planning Area will require compliance with the detailed project grading and construction measures identified in the Geotechnical Reports prepared by Geocon, Inc. for each planning area. These reports are on-file with the City of Lake Forest. To minimize impacts on adjacent properties, grading and compaction work in areas immediately adjacent to existing Portola Hills residences (e.g., on the Portola Northeast site) will include the use of lighter weight grading equipment and static compaction equipment.

The Portola Center Grading Plan has been developed to comply with the City of Lake Forest Grading Ordinance, the County of Orange Grading Manual, and with the recommendations contained in the Geotechnical Reports for the Project. In addition to these requirements, the final grading plan for the Project will comply with the following guidelines:

### **Grading and Retaining Wall Guidelines:**

- A balance between cut and fill within the total community should be maintained.
- Grading within each planning area shall provide for the safety and maintenance of other planning areas already developed or under construction.
- All grading and drainage system plans must be prepared under the direction of a licensed Civil Engineer.
- All permanent manufactured slopes shall be constructed at a maximum slope of two to one (2:1, horizontal to vertical) unless a higher ratio is approved by the Director of Public Works.
- Where manufactured slopes meet the existing landforms, the grading shall be contoured to the extent possible to provide a smooth and gradual transition with a minimum edge radius of twenty-five feet.
- MSE and conventional retaining walls shall be designed and constructed to substantially conform with the approved Tentative Tract Map and applicable Project Conditions pertaining to retaining wall design.

### **3.5 EROSION CONTROL**

In accordance with local and state regulations, a Storm Water Pollution Prevention Plan (SWPPP) will be developed for the Project site. The SWPPP will address the erosion control Best Management Practices (BMP's) that will be implemented for the grading and construction phases of the Project. In conformance with the State's General Permit, BMP's will be identified in the SWPPP for implementation during the typically rainy season. BMP's for erosion control shall be used at all times during and after the grading of the site for the duration of Project construction. Plants and planting materials for the manufactured slope areas shall be planted immediately after grading activities are completed in a given area in order to allow the natural soil erosion control characteristics of their root systems to develop. Prior to the issuance of a grading permit for any development on the Portola Center Project, the Project applicant shall submit an Erosion Control Plan to the Director of Development Services and the Director of Public Works for review and approval. Post-construction storm water runoff BMPs shall be implemented as part of the Project's Water Quality Management Plans.

# PORTOLA CENTER AREA PLAN

## CHAPTER FOUR

### **CIRCULATION**

#### **4.1 CIRCULATION & ACCESS**

#### **4.2 PROJECT ENTRIES**

#### **4.3 NEIGHBORHOOD STREETS**

#### **4.4 ENHANCED PEDESTRIAN PATHWAYS**

## **4.1 CIRCULATION & ACCESS**

The Portola Center Circulation Plan utilizes a hierarchy of neighborhood streets that provide vehicle and pedestrian access to and between the Project's various neighborhoods and parks. The Project also includes enhanced sidewalks along the streets as well as walking, hiking, and jogging trails with exercise stations that connect to the Project's parks and the regional trail system in the vicinity of the Project. As a result, Project residents and visitors have a variety of travel options, by car, by foot, or by bicycle, to access and travel between the Project's neighborhoods, parks, Mixed Use Center, and to offsite amenities.

Regional access to the Project is via Glenn Ranch Road which connects to Portola Parkway to the west and El Toro Road to the east. The primary entries into Portola Center will be from Glenn Ranch Road with the Northwest Planning Area taking access off of Saddleback Ranch Road. Entry into the Northeast and South Planning Areas will be via a new signalized four-way intersection along Glenn Ranch Road approximately 1,800 feet east of the Glenn Ranch Road/Saddleback Ranch Road intersection. The project driveway to the Northwest Planning Area is through an unsignalized single-stop controlled T-intersection along Saddleback Ranch Road approximately 500 feet north of the Glenn Ranch Road/Saddleback Ranch Road intersection. A "Free-Right-Turn" lane will be added to the southbound side of Saddleback Ranch Road at the intersection with Glenn Ranch Road. An emergency access to the Northeast Planning Area will be provided along Glenn Ranch Road approximately 900 feet east of the Glenn Ranch Road/Saddleback Ranch Road intersection.

## **4.2 PROJECT ENTRIES**

The intersection of Glenn Ranch Road and Saddleback Ranch Road provides the primary entry to the Portola South Planning Area. The primary entry is bracketed by the 5-acre Community Park to the southwest and the Neighborhood Mixed Use Center to the east. This Project entry includes a raised landscaped median and a traffic circle, an enhanced pedestrian pathway, and a driveway to the parking area for the 5-acre park. The entry serves as a formal gateway to the Project and the Community Park and is designed as the primary community entry to the South Planning Area.

All of the Project entries are designed with gated entrances. These gated entrances have been designed in accordance with the Orange County Standard Plan 1107 to provide the proper distances for vehicle stacking at the entry gates during the morning and evening peak hours of traffic flow so that traffic on Glenn Ranch Road and Saddleback Ranch Road are not affected. The Project entries will serve as a major component of the community character of the neighborhoods in the Project. The entries are designed to have expanded landscape buffers and enhanced medians with landscape and community design elements that set the tone for the communities which they serve. The project entries are also designed to maximize efficient vehicle movement into and through the Project's neighborhoods with each entry designed with two lanes of ingress. Exhibit 4-2 below shows the location of the Project's four entries. Detailed elevation and plan views of the Project's neighborhood entries can be found in Chapter 7.

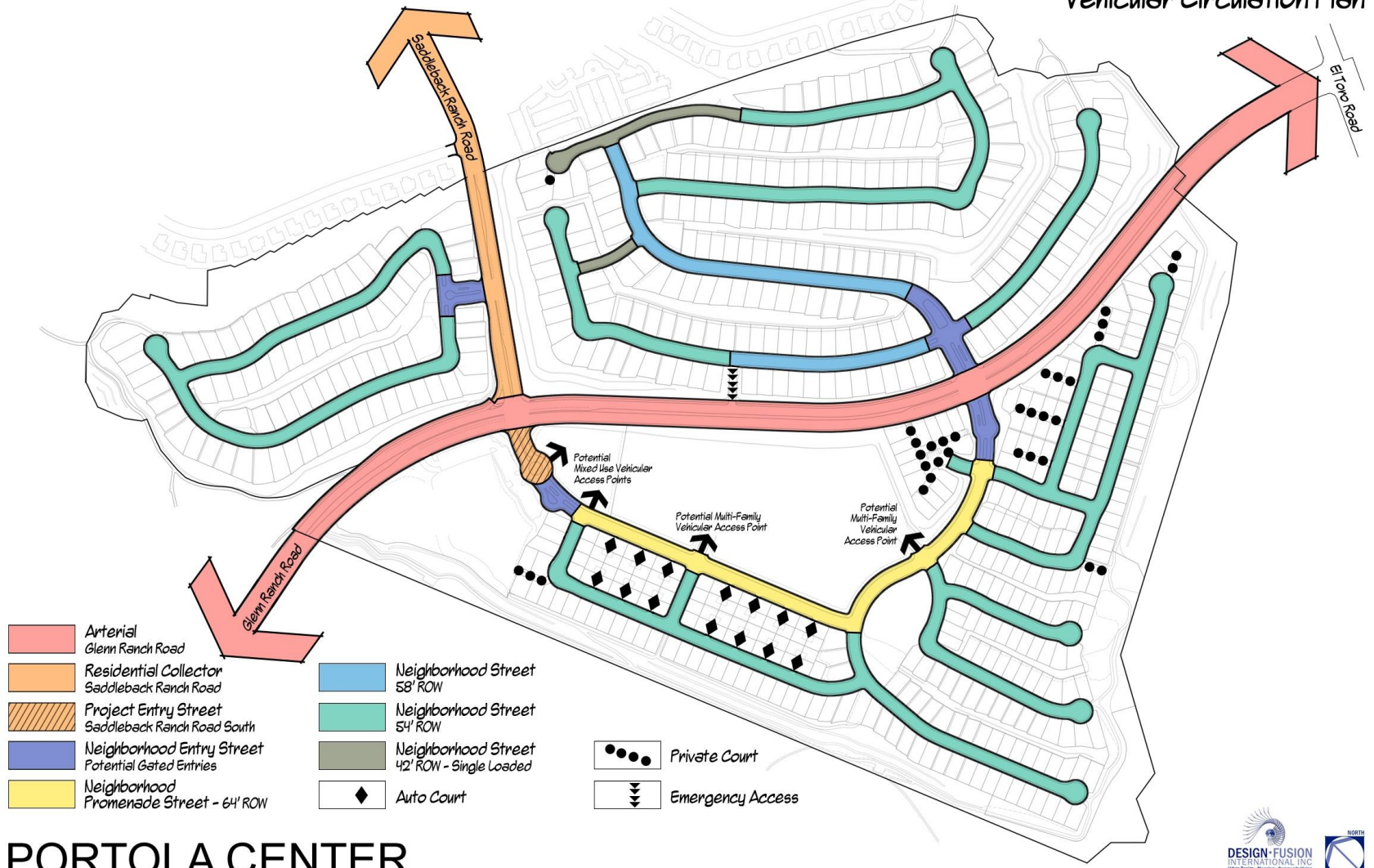
## **4.3 NEIGHBORHOOD STREETS**

Portola Center's internal residential streets will be private streets constructed to meet the City's engineering standards for street grade, drainage, and paved widths. Within the Project boundaries, Glenn Ranch Road and Saddleback Ranch Road will be maintained in their current configuration and Right-of-Way, however they will be enhanced with 10-foot-wide and 14-foot-wide raised landscaped medians along Saddleback Ranch Road and Glenn Ranch Road, respectively.

Portola Center includes three types of residential streets: the "Promenade Street" which traverses through the heart of the South Planning Area, the internal neighborhood streets, and shared alleys and courtyards. Traffic calming in the form of Landscaped parkways and chokers are used throughout to separate sidewalks from the vehicle travel ways to provide for safe pedestrian crossings. The gated entrances create a prominent demarcation between the vehicle-oriented arterials that provide access to the Project site and the internal pedestrian- and neighborhood-oriented residential streets of the Project, serving to physically slow and stop traffic upon entry into the community.



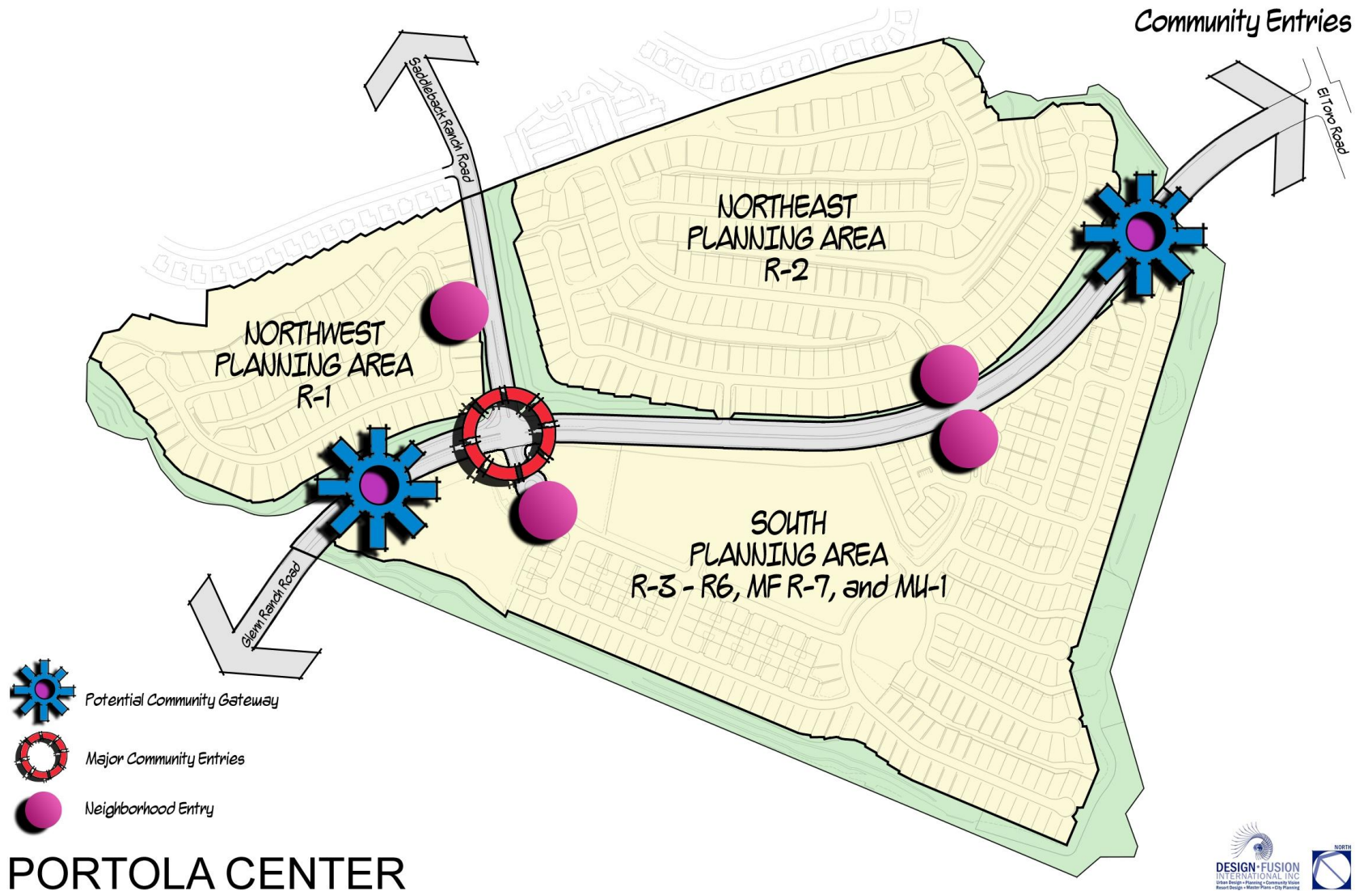
# Vehicular Circulation Plan



## PORTOLA CENTER



**EXHIBIT 4-1  
PORTOLA CENTER CIRCULATION PLAN**



**Exhibit 4-2**  
**Portola Center Community & Neighborhood Entries**

### **4.3.1 PRIMARY COMMUNITY ENTRY STREET/"PROMENADE" STREET**

This primary community entry into the Portola South Planning Area turns into the Portola South Promenade Street, a "Loop" Street that is designed to support efficient vehicle, pedestrian, and bicycle use through the Project's neighborhoods, to the Project's parks, and between the Project entries. Internally, the Portola South Promenade Street will have landscaped parkways and an enhanced pedestrian pathway (6' sidewalk) to connect the 5-acre Community Park and the Mixed Use Center on the west with the multifamily and single family neighborhoods in the rest of the Planning Area. The Promenade Street also provides pedestrian connectivity with the Glenn Ranch Road/Saddleback Ranch Road intersection, the Aliso Serrano Riding and Hiking Trail, the enhanced sidewalk along Saddleback Ranch Road, and the neighborhoods of Portola North and Portola Hills.

The Promenade Street is designed as a 64-foot-wide Right-of-Way which includes 40 feet of paving, 4.5 feet of landscaped parkways on both sides, a standard sidewalk on the southern side of "A" Street and western side of "B" Street, and an enhanced pedestrian and bicycle pathway on the northern side of "A" Street and eastern side of "B" Street. The enhanced pedestrian pathway along "A" Street crosses over into the Project's central park and then continues on to the eastern side of "B" Street to create a seamless pedestrian connection between the park and the Project's two entrances. Cross-sections for the Promenade Street (Streets "A" and "B") are shown below in Exhibits 4-3 and 4-4.

### **4.3.2 RESIDENTIAL STREETS**

The Residential Streets within the Portola Center project include tree-lined and landscaped parkways on both sides of the street and "chokers" at intersections and pedestrian crossings to both visually enhance the look and feel of the road section and to promote the pedestrian relationship with the roadway. The parkways have the combined benefit of reducing speeding in the neighborhoods and separating pedestrians from vehicles, making walking safer for the pedestrian. Pedestrian safety is further enhanced through the use of landscaped chokers projecting into the street four to six feet at regular intervals and at street corners to promote vehicle slowing and to shorten the street-crossing distance for pedestrians.

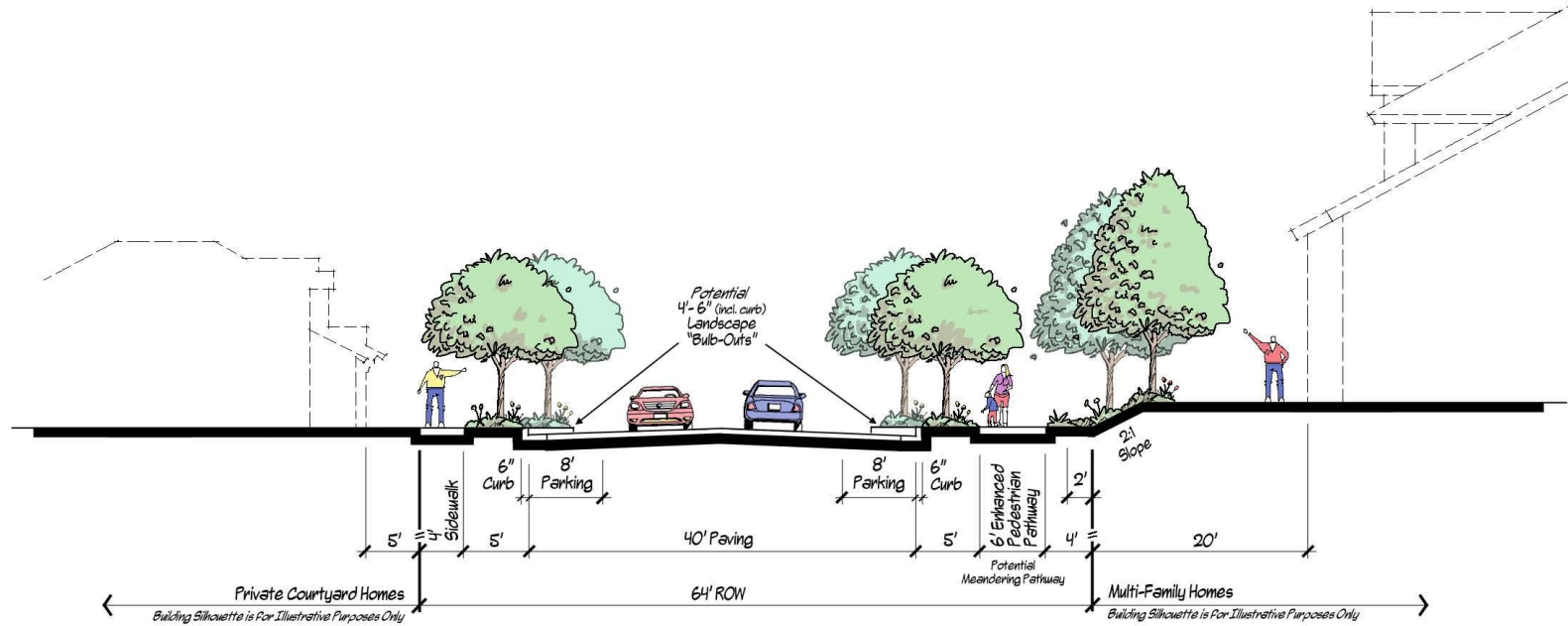
The typical residential street in Portola includes either 36 or 40 feet of paving, depending on the level of traffic the street will support, 4.5 feet of landscaped parkways on both sides, and standard sidewalks. The Northeast Planning Area also includes short sections of single loaded streets (Streets "H" and "L") with a reduced paving width of 32 feet and a reduced Right-of-Way of width of 42 feet. Cross-sections for the various street sections are shown in Exhibits 4-5 through 4-7 below.

### **4.3.3 SHARED ALLEYS AND PRIVATE COURTYARDS**

Homes in Neighborhood R-5 in the Portola South Planning Area take driveway access along shared alleys. Neighborhood R-6 is planned for courtyard-style homes where up to four individual homes will share a private courtyard/driveway. The shared alleys and courtyards eliminate the need for multiple curb cuts for driveways along the neighborhood's residential streets. The alleys and courtyards also result in wider front yards and expanded guest parking along the residential streets. The shared alleys include 20-feet of paving and 2 feet of decorative drivable border on either side for a total width of 24 feet. The private courtyards include 14 feet of paving bordered by 3 feet of drivable pavers or stamped concrete on each side for a total driveway width of 20 feet. A cross-section for the shared alleys is shown in Exhibit 4-8 below.



**64' Promenade Street**  
with Enhanced Pedestrian Pathway  
along Private Courtyards & Multi-Family

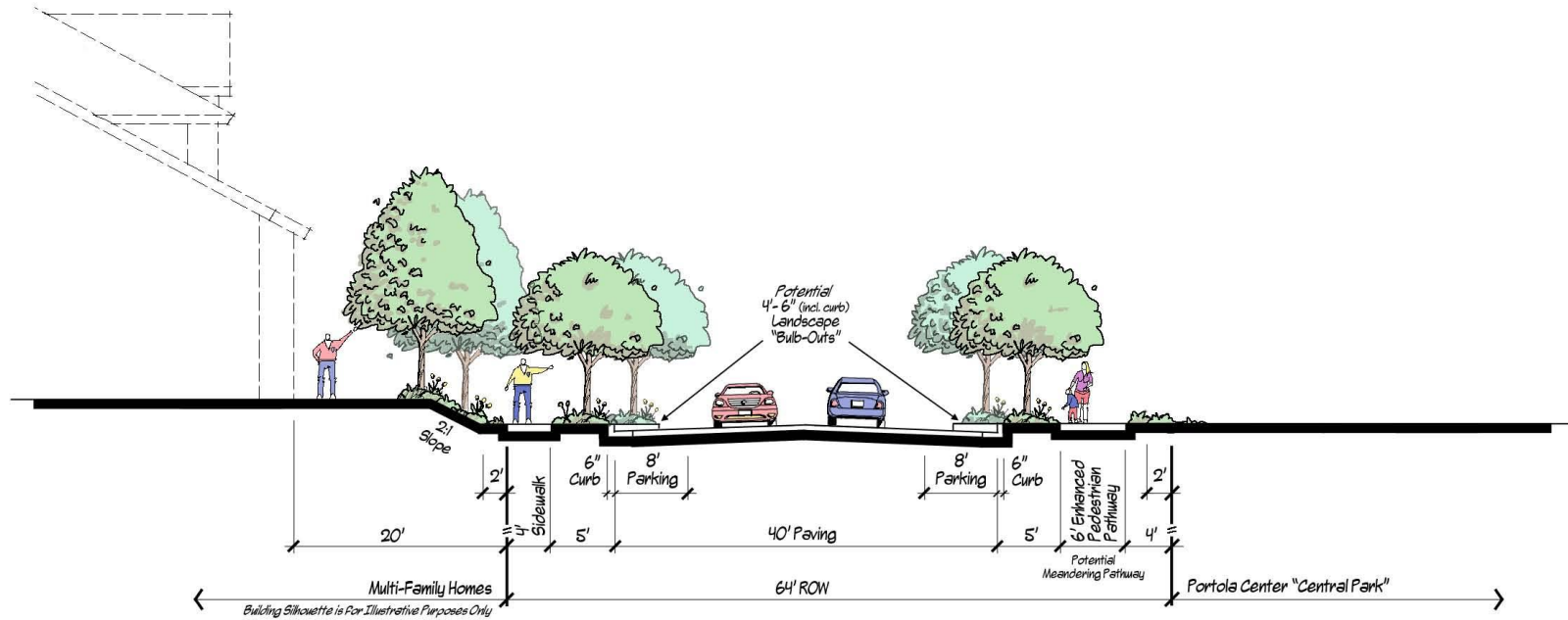


**PORTOLA CENTER**



**Exhibit 4-3**  
**Promenade Street ("A" Street)**

**64' Promenade Street**  
with Enhanced Pedestrian Pathway  
along Portola Center "Central Park"

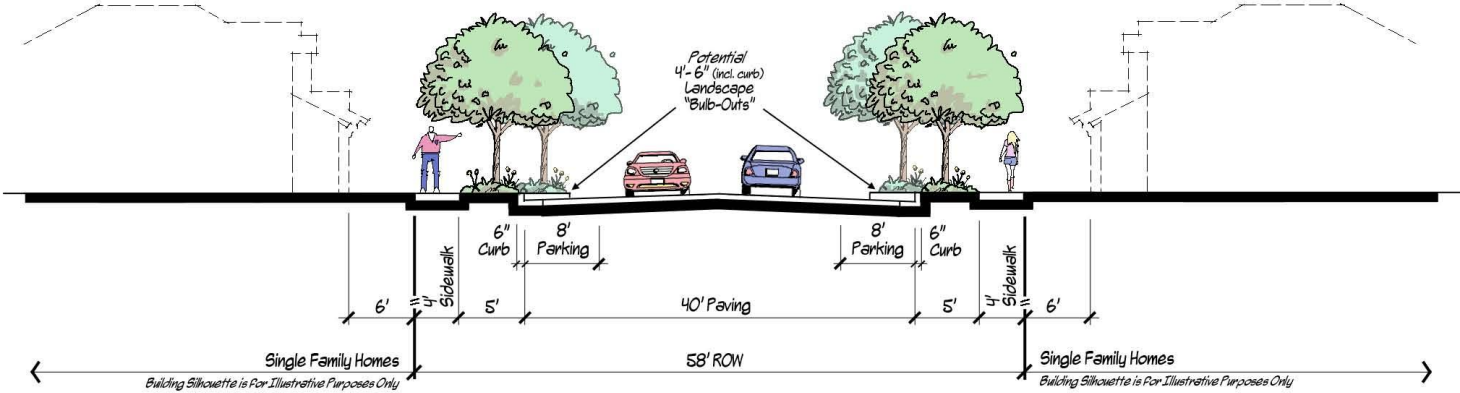


**PORTOLA CENTER**



**Exhibit 4-4**  
**Promenade Street ("B" Street)**

58' Neighborhood Street

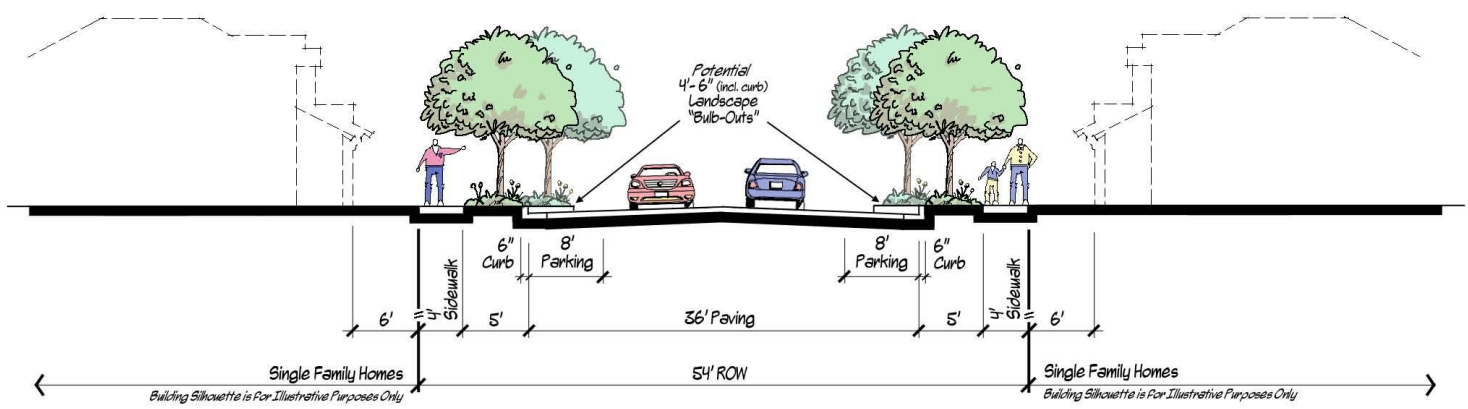


PORTOLA CENTER



**Exhibit 4-5  
Residential Street (58' ROW)**

54' Neighborhood Street



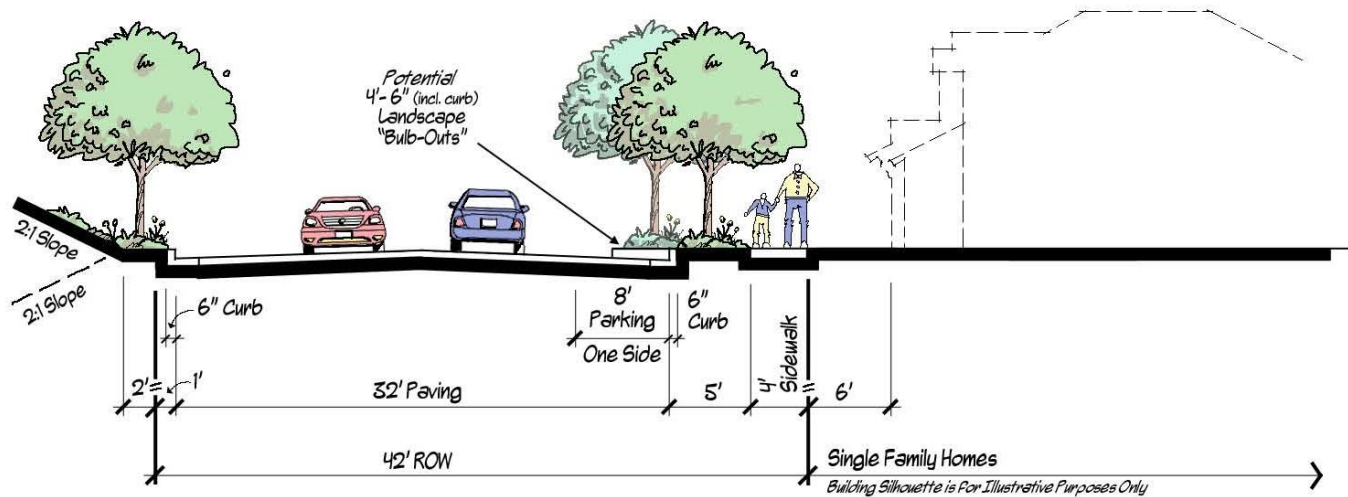
PORTOLA CENTER



**Exhibit 4-6  
Residential Street (54' ROW)**



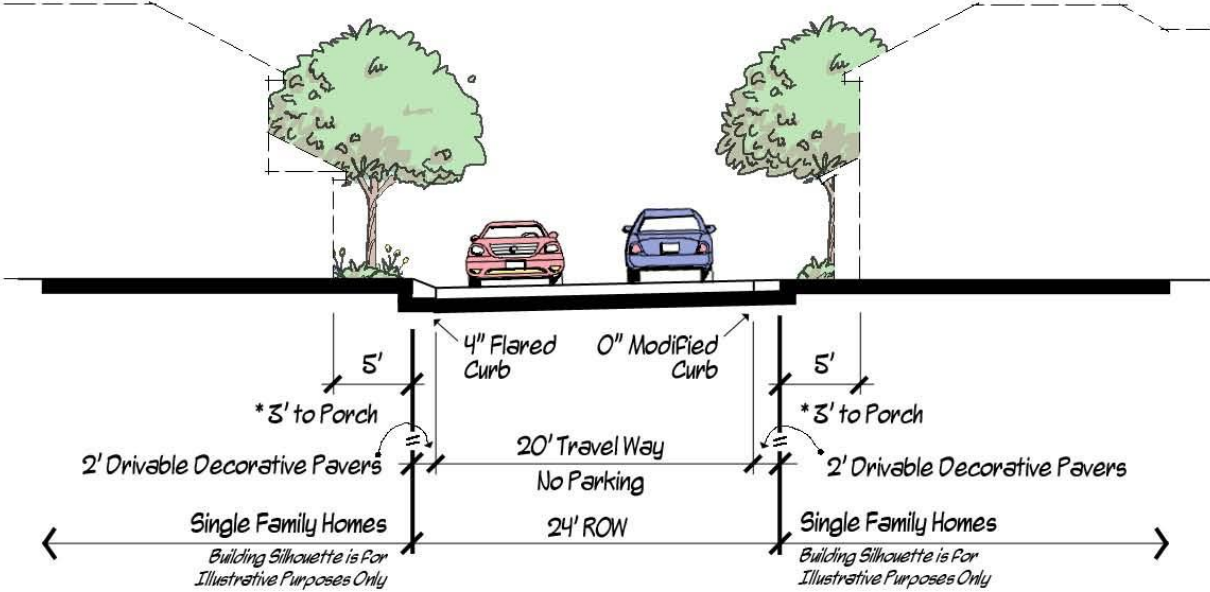
# 42' Neighborhood Street Single Loaded Street



**Exhibit 4-7  
Residential Street (42' ROW)**



# 24' Shared Alley



# PORTOLA CENTER



**Exhibit 4-8  
Shared Alley (24' ROW)**

#### **4.4 ENHANCED PEDESTRIAN PATHWAY**

As discussed above, the Portola South Planning Area is defined by its "Promenade" or "Loop" Street that is designed to support efficient vehicle, pedestrian, and bicycle use through the Project's neighborhoods, to the Project's parks, and between the Project entries. The Promenade Street supports an enhanced pedestrian pathway that connects the 5-acre Community Park and the Mixed Use site on the west with the multifamily and single family neighborhoods in the rest of the Planning Area.

The Project's enhanced pedestrian pathway begins at the Project's boundary with the Portola Hills Community to the north along the east side of Saddleback Ranch Road. This pathway is an eight-foot-wide paved sidewalk along the east side of Saddleback Ranch Road. The pathway ties in to the Aliso Serrano Riding & Hiking Trail at the Glenn Ranch Road/Saddleback Ranch Road intersection and the crosswalk into the Portola Center Planning Area. Inside the Portola South Planning Area, the pathway transitions down to a 6-foot-wide pathway. The pathway connects to the Mixed Use Center and, leaving the Mixed Use Center, meanders along the north side of Promenade Street ("A" Street) until it reaches the Project's Central Park and Community Recreation Center. The pathway crosses over "B" Street, meanders through the Central Park, and continues up the east side of "B" Street until it reaches the eastern Project entrance and Glenn Ranch Road. It continues across Glenn Ranch Road, reconnecting with the Aliso Serrano Trail, and continues into the neighborhood park just inside the Portola Northeast Planning Area.

The Project's enhanced pedestrian pathway provides a connection from the neighborhoods of Portola Hills and the regional trails for the area with the park facilities, the Mixed Use Center, and the neighborhoods and trail system of Portola Center. Exhibit 4-9 below shows the layout of the Enhanced Pedestrian Pathway in the Project and Exhibits 4-10 through 4-12 below show typical cross-sections of the pathway along the east side of Saddleback Ranch Road, as it meanders along the Project's Promenade Street ("A" Street) and through the Central Park.

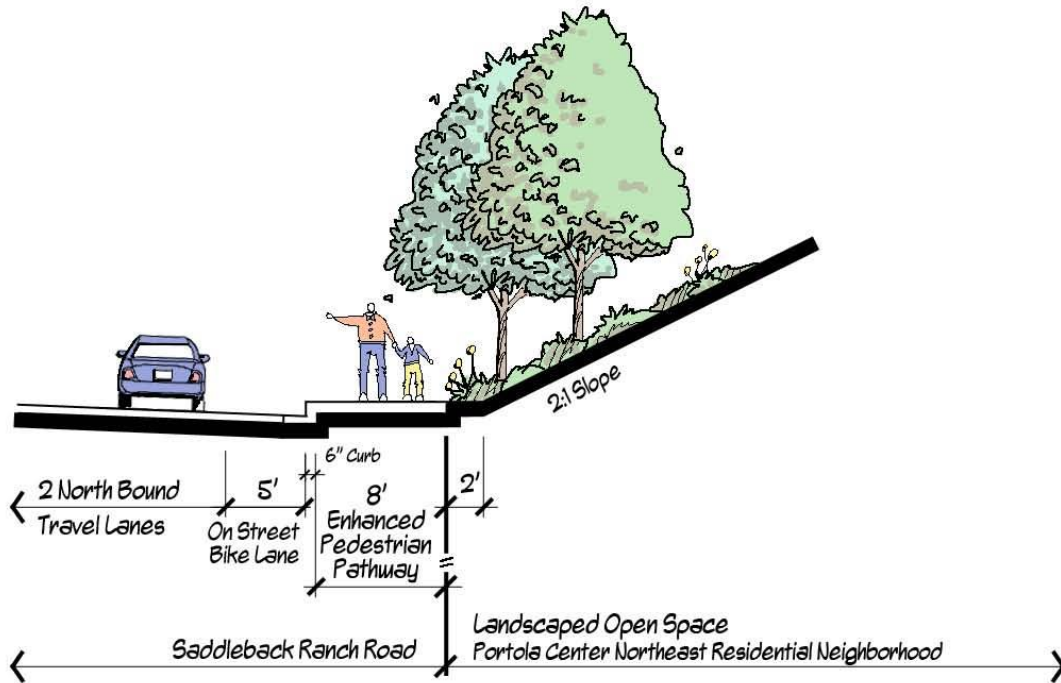


# PORTOLA CENTER

**Exhibit 4-9**  
**Enhanced Pedestrian Pathway**



# Enhanced Pedestrian Pathway along Saddleback Ranch Road

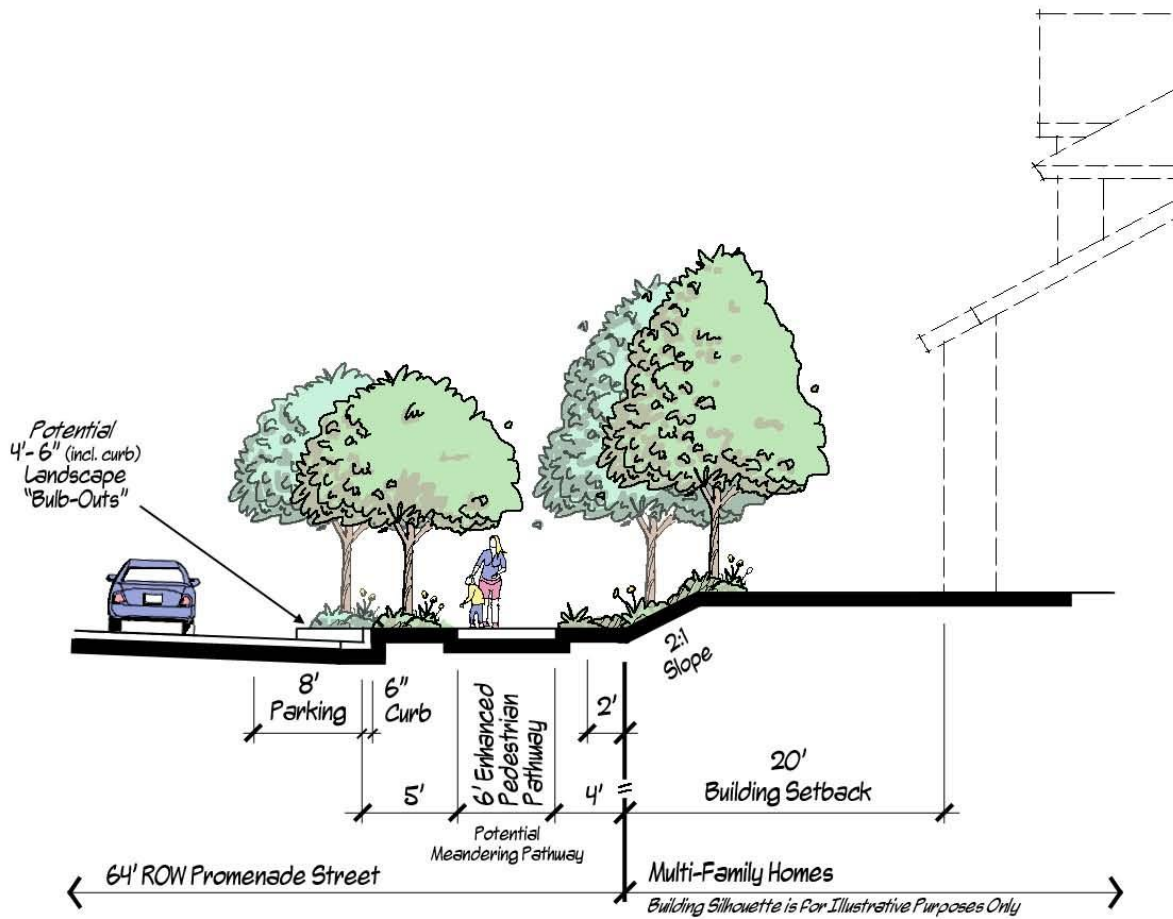


# PORTOLA CENTER



**Exhibit 4-10**  
**Enhanced Pedestrian Pathway (East Side of Saddleback Ranch Road)**

# Enhanced Pedestrian Pathway along Multi-Family Homes



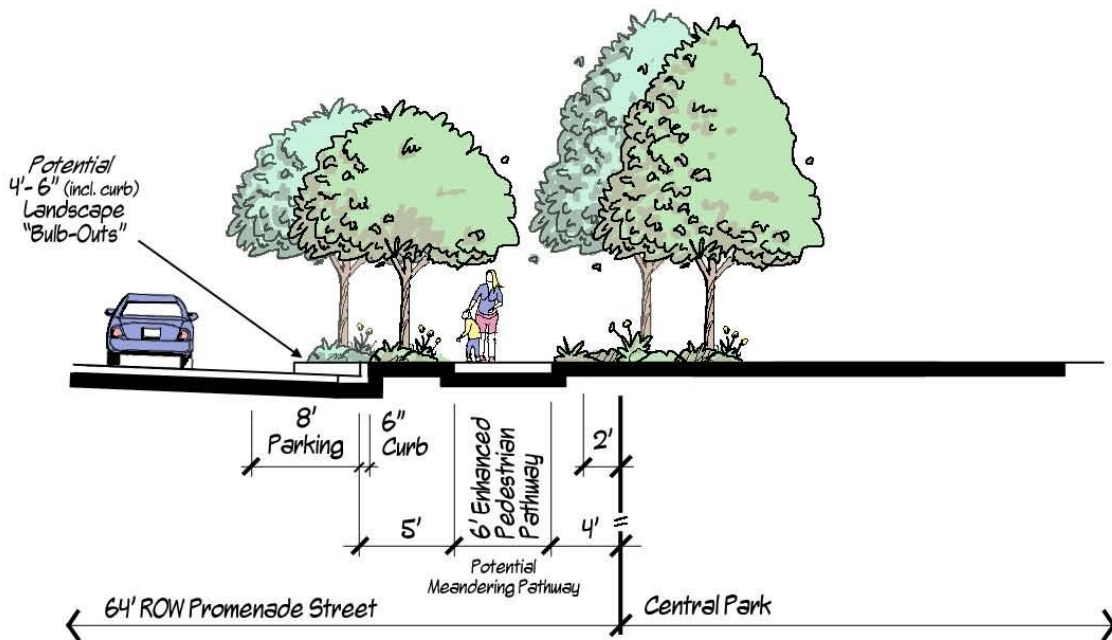
## PORTOLA CENTER



**Exhibit 4-11**  
**Enhanced Pedestrian Pathway (Along Multi-Family Neighborhood)**



# Enhanced Pedestrian Pathway along Portola Center "Central Park"



# PORTOLA CENTER



**Exhibit 4-12  
Enhanced Pedestrian Pathway (Along Central Park)**

# PORTOLA CENTER AREA PLAN

## CHAPTER FIVE

### **INFRASTRUCTURE, COMMUNITY FACILITIES, & SERVICES**

#### **5.1 SUMMARY OF PROJECT FACILITIES & SERVICES**

#### **5.2 WATER DISTRIBUTION SYSTEM**

#### **5.3 WASTEWATER SYSTEM**

#### **5.4 STORM WATER DETENTION, TREATMENT AND DRAINAGE SYSTEM**

#### **5.5 ELECTRIC, GAS, AND COMMUNICATION SERVICES**

#### **5.6 POLICE, FIRE, AND EMERGENCY MEDICAL SERVICES**

#### **5.7 SCHOOLS**

## **5.1 SUMMARY OF PROJECT FACILITIES AND SERVICES**

This Chapter describes the water, waste water, storm water facilities, electric, gas, and communications facilities, police and fire services, and school services necessary to support for the Project.

As part of this Area Plan, the Portola Center Project includes a Public Facilities Financing & Phasing Plan that describes the major public and backbone improvements in the Project, outlines the financing options for construction and maintenance of the Project's major facilities and improvements, and lays out the major phases of grading and development. Further discussion of the timing of these facilities and services can be found in the PFFP Plan.

## **5.2 WATER DISTRIBUTION SYSTEM**

Domestic water service and reclaimed water service are provided by the Irvine Ranch Water District (IRWD). Portola Center is within the Glenn Ranch Road Sub-area Master Plan for water facilities and Water Improvement District No. 188 which will be utilized to provide service to the new development. Existing 10", 12" and 16" water mains are located in Glenn Ranch Road and 10" and 16" water mains exist in Saddleback Ranch Road. These existing water mains will be utilized to provide domestic water service to the project's internal water distribution system. The Project's existing and proposed water distribution system is shown in Exhibit 5-1: Portola Center Water Distribution System below.

Reclaimed water facilities are not currently available to the Project site. The Project will include reclaimed water backbone infrastructure to HOA-maintained landscape areas and parks facilities such that those areas can be irrigated with reclaimed water should services become available to the Project site in the future.

## **5.3 WASTEWATER SYSTEM**

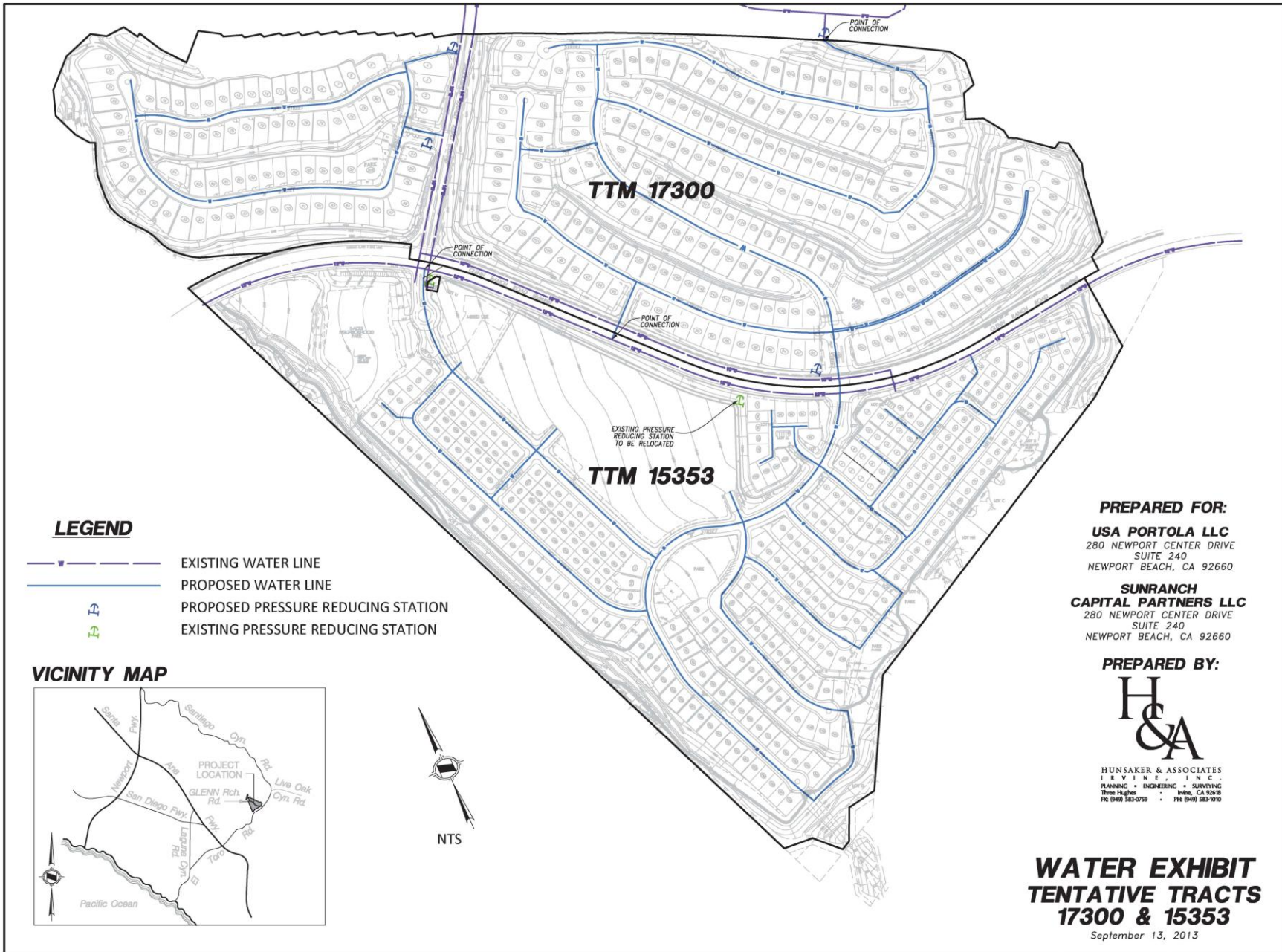
Sewage collection and treatment is provided by the Irvine Ranch Water District and the Santa Margarita Water District. The plan area is within the Glenn Ranch Sub-area Master Plan for sewer facilities and Sewer Improvement District No. 288 which will be utilized to provide service to the new development. A new 12-inch sewer line between Portola Parkway and Saddleback Ranch Road will provide service to the existing Portola Hills Community as well as the majority of the Portola Center Project. Approximately 125 homes within the southeastern portions of the Portola South Planning Area will sewer out to El Toro Road. The Project's existing and proposed wastewater system is shown in Exhibit 5-2: Portola Center Wastewater System below. This system will provide a gravity connection to the El Toro Trunk Sewer exiting out the southwest corner of the site and a gravity connection to the new 12-inch sewer line in Glenn Ranch Road exiting out the western corner of the site.

## **5.4 STORM WATER DETENTION, TREATMENT, AND DRAINAGE SYSTEM**





The Project falls inside the edge of the San Diego Regional Water Quality Control Board (RWQCB) Basin Plan and, therefore, the Project must meet the applicable hydromodification and water quality treatment requirements of the San Diego RWQCB (reference specific regulations). The Project also must meet the Orange County Flood Control requirements to avoid downstream flooding impacts on existing properties or facilities. To meet these requirements, the Project incorporates a combination of hydromodification detention facilities, water quality treatment facilities, and flood control facilities. Where possible, the Project has optimized the design of these facilities by combining hydromodification and flood control functions and incorporating pre- and post-detention treatment facilities into the hydromodification and flood control facilities.

The Project will construct and maintain its own storm water facilities, including storm drain inlets and catch basins, underground storm drains, underground storm water detention and treatment facilities, and storm drain outfalls. The Project's storm drain system is depicted in Exhibit 5-3 below. Existing runoff from Portola Hills will flow into the underground detention chamber prior to controlled discharge into the natural drainage system offsite. All of the Portola Center Project's detention and treatment facilities are located in the Portola South Planning Area, and the Project's facilities are sized to accommodate storm water runoff from the Portola Northwest and Northeast Planning Areas as well as runoff from the South.

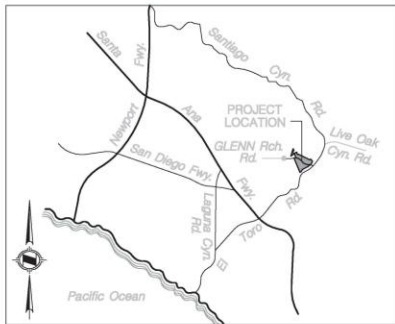




**LEGEND**

-  EXISTING WATER LINE
-  PROPOSED WATER LINE
-  PROPOSED PRESSURE REDUCING STATION
-  EXISTING PRESSURE REDUCING STATION

**VICINITY MAP**



**PREPARED FOR:**

**USA PORTOLA LLC**  
 280 NEWPORT CENTER DRIVE  
 SUITE 240  
 NEWPORT BEACH, CA 92660

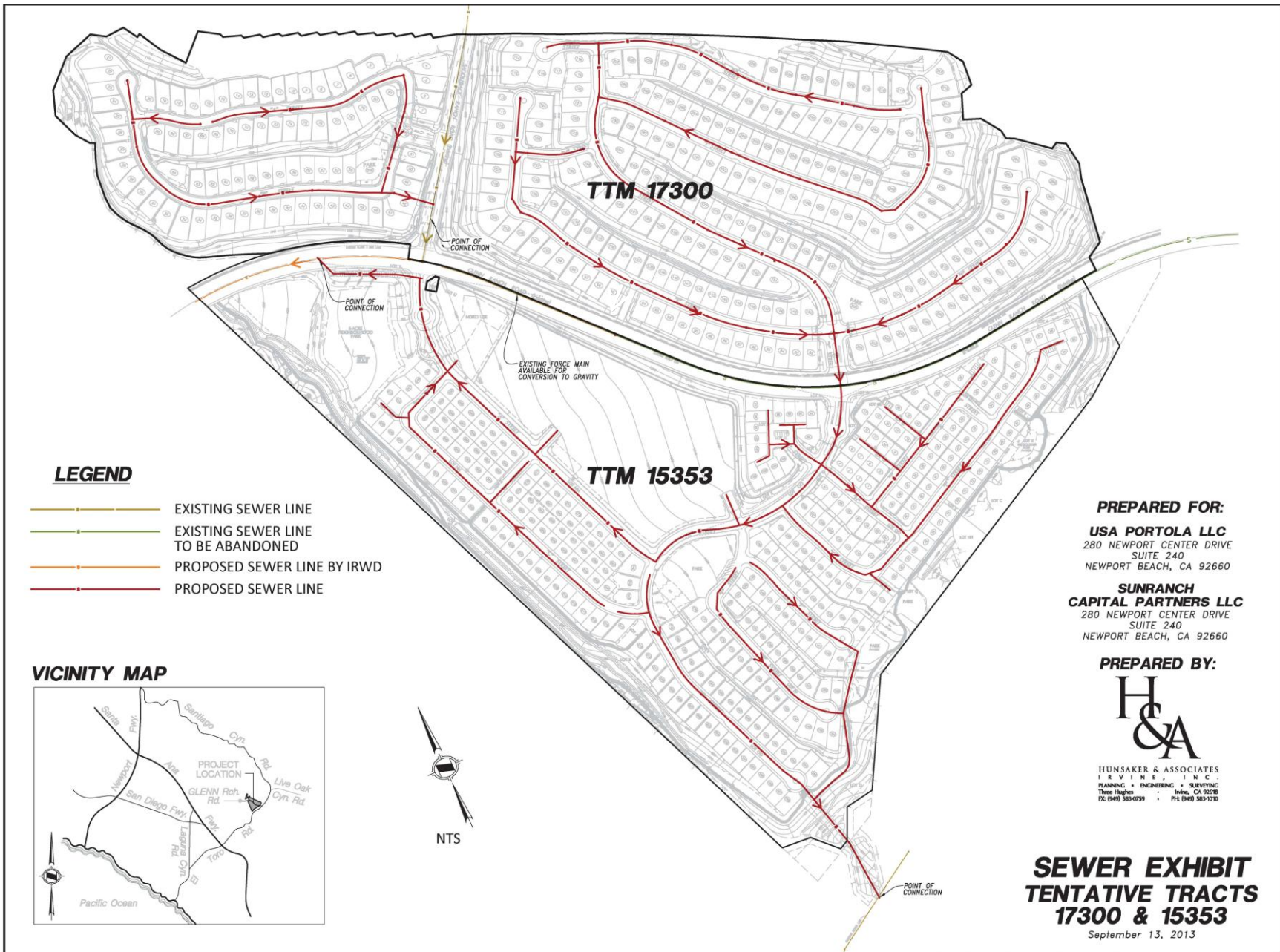
**SUNRANCH  
 CAPITAL PARTNERS LLC**  
 280 NEWPORT CENTER DRIVE  
 SUITE 240  
 NEWPORT BEACH, CA 92660

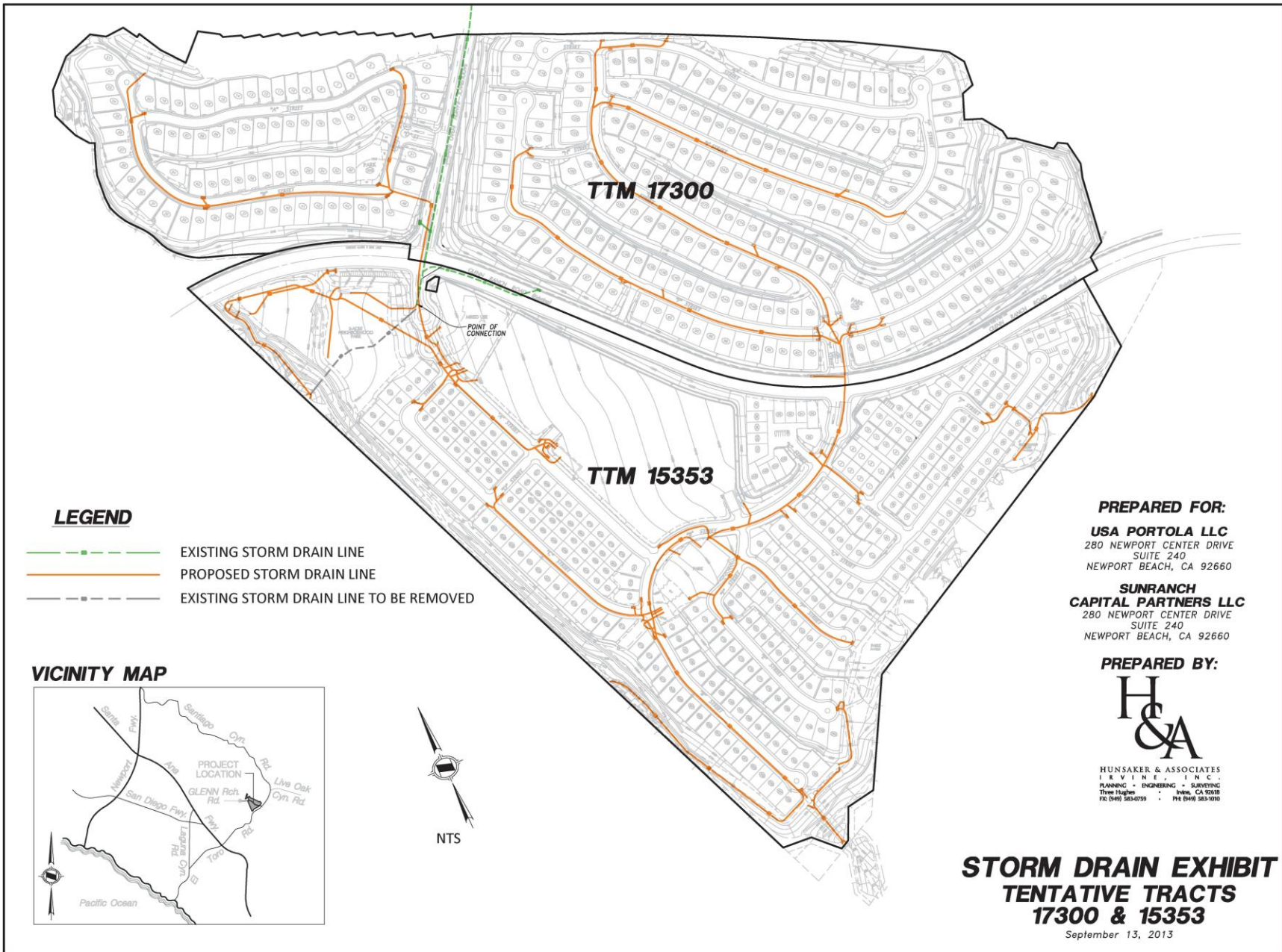
**PREPARED BY:**



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**WATER EXHIBIT  
 TENTATIVE TRACTS  
 17300 & 15353**  
 September 13, 2013





**Exhibit 5-3  
 Portola Center Storm Drain System**





## **5.5 ELECTRIC, GAS, AND COMMUNICATION SERVICES**

The Project's dry utilities include electrical and natural gas services, and communication services (telephone, cable and internet). Southern California Edison (SCE) and Southern California Gas Company provide electric and gas services, respectively, to the Project and the surrounding area. Electrical transmission service to the Project area is provided via a transmission line extending along Santiago Canyon Road and natural gas transmission service is provided via a 6-inch main within El Toro Road. Electric and gas distribution services are extended through Glenn Ranch Road and Saddleback Ranch Road to which the Project will connect. The developer will be responsible for constructing connections to these distribution facilities and the backbone distribution systems for the Project.

Telephone, Cable, and Internet services also exist in Glenn Ranch Road and Saddleback Ranch Road and these services will be extended into the Project at the Project's four entrances. Internal to the Project, the Project Developer will be responsible for constructing backbone utility infrastructure and providing extensions to the various neighborhoods in the Project. The dedication and construction of utility infrastructure within individual neighborhoods will be the responsibility of the builder(s) with each subdivision map for that neighborhood. Transformer and cable box locations shall be carefully planned and coordinated with the utility company, the landscape architect, and the builder to be unobtrusive and screened from public view where possible.

## **5.6 POLICE, FIRE, AND EMERGENCY MEDICAL SERVICES**

The City of Lake Forest contracts with the Orange County Sheriff-Coroner's Department for law enforcement and protection. The community is served by the Aliso Viejo Sheriff's Station located in Aliso Viejo, approximately 10 miles south of the site. Service levels and response times to the Portola Center Planned Community are considered sufficient to meet current law enforcement needs and no additional on-site facilities are required to serve the planned development.

The City of Lake Forest contracts with the Orange County Fire Authority (OCFA) for fire and emergency medical services. The Fire Authority provides fire suppression, fire prevention (construction and maintenance inspections), and paramedic services. First responding units to the Planning Area would be from OCFA Station #42 located at 19150 Ridgeline Road approximately 0.6 miles northeast of the plan area, within the Portola Hills Planned Community. OCFA Station #42 employs three captains, three engineers and three firefighters and houses two engines. Current personnel and equipment at the fire station are adequate for life and property protection within the project site, thus, no additional on-site facilities will be required. OCFA also has automatic aid agreements with adjoining jurisdictions, as well as mutual aid agreements for brush fire response.

As a requirement of all new residential development in California, all homes within the Project will be constructed with internal fire sprinkler systems. All of the structures in the Project will be constructed to meet all applicable California Building Code and Fire Code standards and OCFA regulations for fire safe project design and building construction. Fire hydrants and connections shall be located and designed at the direction of the Orange County Fire Authority and shall be placed in plain sight and in locations that allow for quick and unobstructed access by fire personnel. The Project is surrounded on three sides by natural vegetation and, therefore, will include permanently irrigated Fuel Modification Zones around these three sides of the Project as well as vegetation management on the Project's interior slopes to protect structures and homes from the threat posed by wildland fires. More information on the layout and details of the Fuel Modification Zones is contained in Chapter Eight of this Area Plan.

## **5.7 SCHOOLS**

The project is located within the jurisdiction of the Saddleback Valley Unified School District (SVUSD). Portola Hills Elementary School is located within the Portola Hills Planned Community within one half mile of the Project site along Saddleback Ranch Road. The Portola Center Project will result in the generation of additional school-age children who are expected to largely attend schools within the Saddleback Valley Unified School District, including Portola Hills Elementary. As part of the Portola Center Development Agreement, the Portola Center property owners entered into a School Mitigation Agreement with SVUSD. The School Mitigation Agreement requires the project to contribute approximately \$2.9 million to the School District which is required to be used for modernization of the Portola Hills Elementary School. In addition, the Project Developer will pay a per unit fee of \$8,415 for every home built in Portola Center to the school district for a total contribution of more than \$10.7 million to the School District.

# PORTOLA CENTER AREA PLAN

## CHAPTER SIX

### **PARKS, RECREATION, & TRAILS**

- 6.1 SUMMARY OF PROJECT PARKS, RECREATION, & TRAILS PLAN**
- 6.2 PORTOLA CENTER PARK REQUIREMENTS**
- 6.3 PARK FACILITIES**
- 6.4 TRAIL FACILITIES**

## 6.1 SUMMARY OF PROJECT PARKS, RECREATION, & TRAILS PLAN

The Portola Center Project park and recreational facilities are distributed throughout the Project and connected by enhanced pedestrian pathways, paseos through neighborhoods, the Perimeter Trail, and neighborhood streets. Neighborhood-serving recreational uses such as picnic areas, multi-use fields, and child play areas are located in the smaller neighborhood pedestrian parks. Community-level recreational uses such as the HOA pool facilities and recreation center are located in the central portion of the Project to provide convenient access for all the Project's neighborhoods. Ball fields, large multi-purpose fields, and other active recreational uses are located in the Project's 5-acre Public Community Park and conveniently accessible to the Project's residents as well as the surrounding area with direct pedestrian and vehicle access from Glenn Ranch and Saddleback Ranch Roads.

The Project's entries and various community open space areas are located and designed to create a defining break between the more essential development components of the Project such as buildings, roads, and other infrastructure. The Project's perimeter open space areas are designed to provide fire protection to the Project as well as a landscape transition between the Project's perimeter neighborhoods and the natural open space areas surrounding the Project, including parks and trail systems. The Project's interior slopes, MSE retaining walls, and slopes adjacent to the Portola Hills Community are landscaped to ensure sufficient coverage and stabilization of the slopes, to protect views, and to meet OCFA landscape requirements for interior slopes.

The Project's parks and community open space areas serve as defining elements of the Portola Center Land Use Plan and community design strategy. The Portola Center trail system and its exercise/activity stations are integral to the recreational experience of the Portola Center Community. The Project's trail system, pedestrian pathways, and neighborhood paseos create a recreational fabric that weaves together the Project's various neighborhoods, the Mixed Use Center and 5-acre Community Park, the community open space areas, Neighborhood Parks, and Community Recreation Center.

## 6.2 PORTOLA CENTER PARK REQUIREMENTS

The City of Lake Forest General Plan establishes a public park requirement based on population projections for future projects. The City requires that 3 acres of new public parkland be created for every 1,000 residents a new project is projected to support. The City's General Plan establishes an average per home population factor of 2.91 persons per home to determine the number of future residents a project will generate. Table 6-1 below details the Portola Center Public Park Requirements based on this population factor.

**TABLE 6-1: PORTOLA CENTER PUBLIC PARK REQUIREMENTS**

<b>Dwelling Units</b>	<b>Population Factor</b>	<b>Population</b>	<b>Acres / Person</b>	<b>Park Acres</b>
<b>930</b>	<b>2.91</b>	<b>2707</b>	<b>0.003</b>	<b>8.12</b>

## 6.3 PARK FACILITIES

To meet its public park requirements, Portola Center provides a hierarchy of park and recreational facilities and amenitized public use trails which collectively provide a comprehensive set of recreational uses to Portola Center residents and the surrounding community. Consistent with the City's General Plan, each park in the Project is located to provide convenient access to the Project's various neighborhoods and the Project's parks are planned to provide a variety of neighborhood- and community-serving recreational improvements.

In total, the Project includes 10.8 net acres of public and private parks, recreational facilities, and public use trails equating to 8.55 acres of public park credit. Per the Portola Center Development Agreement, public parks and public use trails are eligible for a public park credit of 1.15 acres for every net acre of parkland provided and private parks and recreational facilities are eligible for a public park credit of 0.25 acre for every net acre of parkland provided. Table 6-2 ("Portola Center Park & Recreational Facilities") below provides a list of the Project's various park and recreational facilities, the size of each facility, and the public park credit each facility generates towards the Project's public park requirements.

**TABLE 6-2: PORTOLA CENTER PARK & RECREATIONAL FACILITIES**

<b>Park (Lot #)</b>	<b>Location</b>	<b>Description</b>	<b>Gross Acreage</b>	<b>Net Acreage</b>	<b>Public Park Credit <sup>(1)</sup></b>
<b>305</b>	Portola Northeast Park	Private Neighborhood Pedestrian Park	0.50	0.50	0.13
<b>306</b>	Portola Northwest Park	Private Neighborhood Pedestrian Park	0.50	0.50	0.13
<b>316</b>	Portola South Community Park (Western End)	Public Neighborhood Park	6.30	5.00	5.75
<b>317</b>	Portola South Central Park (Central to Project)	Private Neighborhood Pedestrian Park & Community Recreation Center	1.70	1.60	0.40
<b>318</b>	Portola South Perimeter Park (Eastern Edge)	Private Neighborhood Pedestrian Park	3.30	2.60	0.65
<b>Public Trail</b>	Portola South Perimeter Trail (Project Perimeter)	Public Use Trails <sup>(2)</sup>	1.50	1.50	1.73
<b>Total Park Acreage Provided:</b>			<b>13.80</b>	<b>11.70</b>	<b>8.78</b>
<b>Total Public Park Acreage Credit Required:</b>					<b>8.12</b>
<b>Park Acreage Credit Surplus</b>					<b>0.66</b>
<sup>(1)</sup> Calculations based on Development Agreement Exhibit F, Attachment 1 (1.15 acres of park credit per acre of public park creation, 0.25 acre of park credit per acre of private park/private rec. facility creation 0.5 acre or greater in size).					
<sup>(2)</sup> Per the Portola Center Development Agreement, a maximum of 1.5 acres is available for public park credit at the ratio of 1.15 acres of park credit per acre of public trails creation.					

Each park facility in Portola Center provides family-oriented/neighborhood-serving recreational uses to meet the needs of the neighborhoods in its immediate vicinity. These uses include tot lots/children’s play areas, picnic areas, multi-purpose fields/open grass areas, and picnic, relaxation and passive use areas. Other components of the Portola Center Park and recreation facilities include a greater diversity of uses and a system of amenitized and enhanced trails.

The various facilities planned for Portola Center have been designed at the conceptual level to comply with the Portola Center Development Agreement. Final site plans and construction drawings will be prepared and reviewed by the City of Lake Forest to determine their consistency with the conceptual plans contained in this Area Plan as well as their compliance with the Development Agreement. The final approved park site plans may vary somewhat from the conceptual plans contained in this Area Plan, however the recreational amenities will not deviate from this Area Plan or the requirements of the Portola Center Development Agreement. Table 6-3 (“Portola Center Park & Recreation Facilities Amenities”) below identifies the Neighborhood Park and Public Use Trail Criteria from the Development Agreement and how the Project’s various park and trail facilities comply.

Conceptual layouts of the Project’s various park facilities are shown in Exhibits 6-1 through 6-5. The 5-Acre Community Park includes active ball fields, courts, multi-purpose fields, picnic and barbeque areas, and other passive uses that serve the broader community. The 5-Acre Park will be constructed and maintained by the City and open to the public. A conceptual layout is shown in Exhibit 6-1 of possible uses. The uses and facilities in the park will ultimately be determined by the City of Lake Forest.

The smaller Neighborhood Parks in the Portola North Planning Areas include picnic areas, multi-purpose fields, and play areas and equipment for children (please see Exhibits 6-2 and 6-3). The Central Park includes community pool facilities and a clubhouse with meeting rooms, barbeque and picnic areas, a children’s play area, a multi-purpose field, and a volleyball court. The Central Park is operated by the HOA and open to residents of the Portola Center community (please see Exhibit 6-4). The Perimeter Park is bordered by the Perimeter Trail and includes a children’s play area, a multi-purpose field, picnic and seating areas, and three exercise stations that are part of the Perimeter Trail (please see Exhibit 6-5).

**TABLE 6-3: DEVELOPMENT AGREEMENT NEIGHBORHOOD PARK CRITERIA**

FACILITY	SIZE	DESCRIPTION	AMENITIES					
			TR	NP-5	NP-4	NP-3	NP-2	NP-1
NP-1	6.3	Public Community (Neighborhood) Park						
NP-2	0.6	Northwest Neighborhood Park						
NP-3	0.5	Northwest Neighborhood Park						
NP-4	1.8	Central Park & Community Rec. Center						
NP-5	2.1	Perimeter Neighborhood Park						
TRAIL	1.8	Public Use Perimeter Trail						

**ALL NEIGHBORHOOD PARKS**

<i>Landscaping &amp; Site Design</i>	TR	NP-5	NP-4	NP-3	NP-2	NP-1
Min. Improvements (Grading, Drainage/BMPs, Utilities, etc.)	◆	◆	◆	◆	◆	◆
Hardscape, Sidewalks, Minimum 5' Wide, Concrete	◆	◆	◆	◆	◆	◆
Hardscape, Mow-Strip, Concrete	◆	◆	◆	◆	◆	◆
Turf, Sod	◆	◆	◆	◆	◆	◆
Shrubs, Minimum 5-Gallon Size	◆	◆	◆	◆	◆	◆
Trees, Minimum 15-Gallon Size	◆	◆	◆	◆	◆	◆
Mulch/Soil Preparation	◆	◆	◆	◆	◆	◆
Satellite/Weather-Based Automatic Irrigation System	◆	◆	◆	◆	◆	◆
Automatic Security Lighting System with Communications	◆	◆	◆	◆	◆	◆
City Standard Park Identification Sign & Park Rules Signs <sup>(1)</sup>	◆	◆	◆	◆	◆	◆
ADA Universal Signage	◆	◆	◆	◆	◆	◆
ADA Accessible Path of Travel	◆	◆	◆	◆	◆	◆
Concrete Pavement (Under Tables and Seating) <sup>(2)</sup>	◆	◆	◆	◆	◆	◆

<i>Park Amenities</i>	TR	NP-5	NP-4	NP-3	NP-2	NP-1
Multi-Purpose Field or Tennis, Volleyball, or Basketball Court	<sup>(3)</sup>	◆	◆	◆	◆	◆
Spectator Seating	<sup>(3)</sup>	◆	◆	◆	◆	◆
1 group BBQ w/ 4 tables or 2 family BBQs w/ 4 tables	<sup>(3)</sup>	<sup>(4)</sup>	◆	<sup>(4)</sup>	<sup>(4)</sup>	◆
1 Drinking Fountain per Field, Court, and Picnic Area	<sup>(3)</sup>	◆	◆	◆	◆	◆
1 Tot Area and 1 Adjacent Bench	<sup>(3)</sup>	◆	◆	◆	◆	◆
Exercise Stations, Rest Areas, & Viewing Areas	◆	◆	N/A	N/A	N/A	N/A

**NEIGHBORHOOD PARKS 3+ ACRES IN SIZE**

<i>Park Amenities</i>	TR	NP-5	NP-4	NP-3	NP-2	NP-1
1 Multi-Purpose Field	<sup>(3)</sup>	◆	◆	◆	◆	◆
Parking area with van accessible ADA parking	N/A	N/A	◆	N/A	N/A	◆
1 Shade Structure (Min. 50% Shade)	◆	◆◆	◆◆	◆◆	◆◆	◆
1 ages 6 to 12 Play Area	<sup>(3)</sup>	◆◆	◆◆	◆◆	◆◆	◆

◆ Meets DA Requirement; ◆◆ Exceeds DA Requirement

<sup>(1)</sup> Private Parks will include HOA Signage.

<sup>(2)</sup> Concrete or, in certain instances, decomposed granite surfaces are used under tables and benches.

<sup>(3)</sup> The Perimeter Trail & Perimeter Park include exercise/activity stations as equivalent facilities per the DA

<sup>(4)</sup> Gas & Charcoal BBQs are not permitted in parks and open space in Very High Fire Hazard Severity Zones.





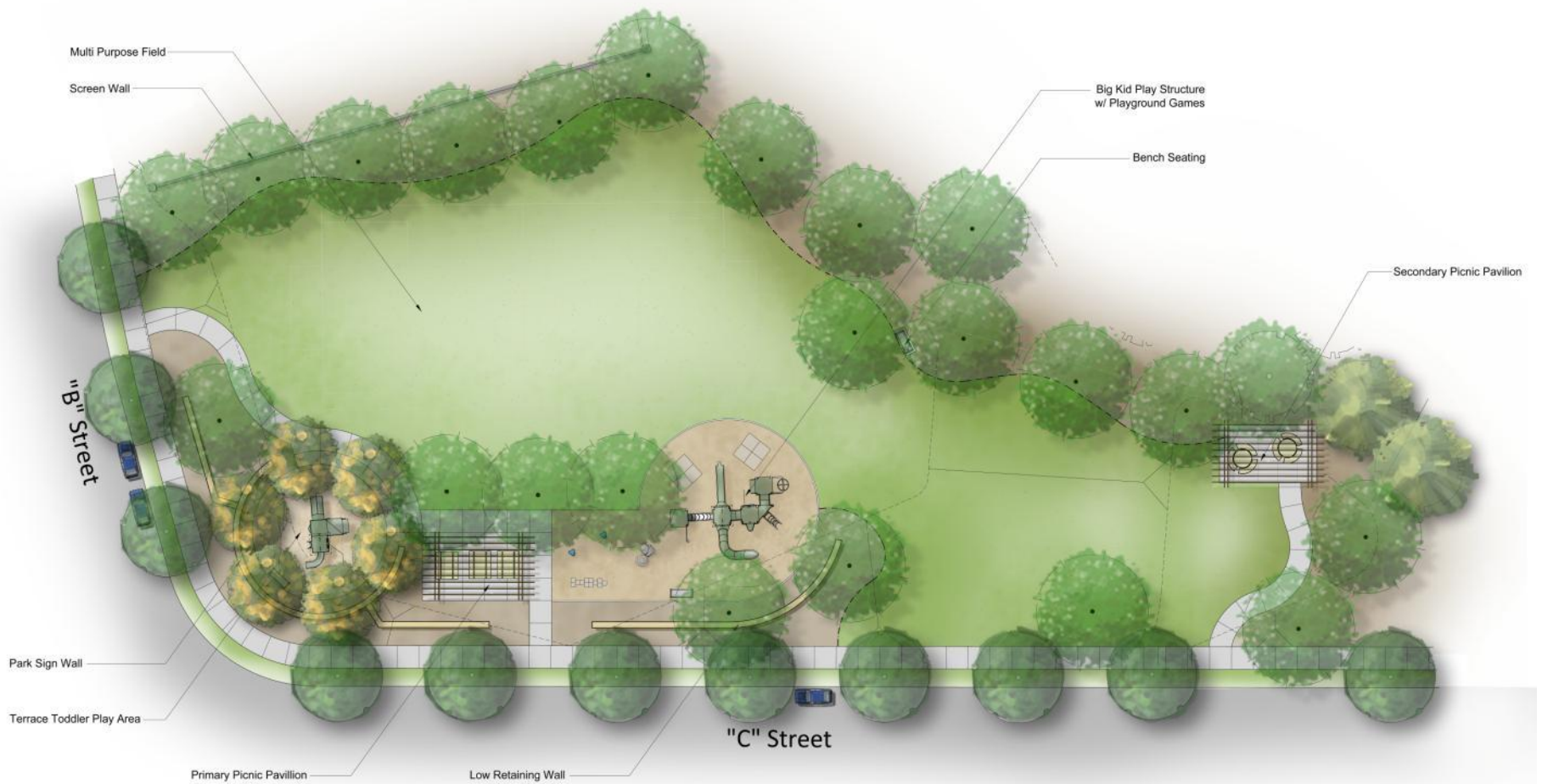
# Portola Center - South

Five Acre Park  
by Sunranch Capital Partners LLC

Tributary LA, Inc.  
Landscape Architecture  
5411 Avenida Encinas, Suite 280  
Carpenter, CA 95028  
760.438.3304 office  
760.438.3308 fax  
11/00' 00 Apr 13

## EXHIBIT 6-1

## 5-ACRE PUBLIC COMMUNITY PARK CONCEPTUAL PLAN



# Portola Center - North

Park Enlargement - Lot 306

by USA Portola LLC



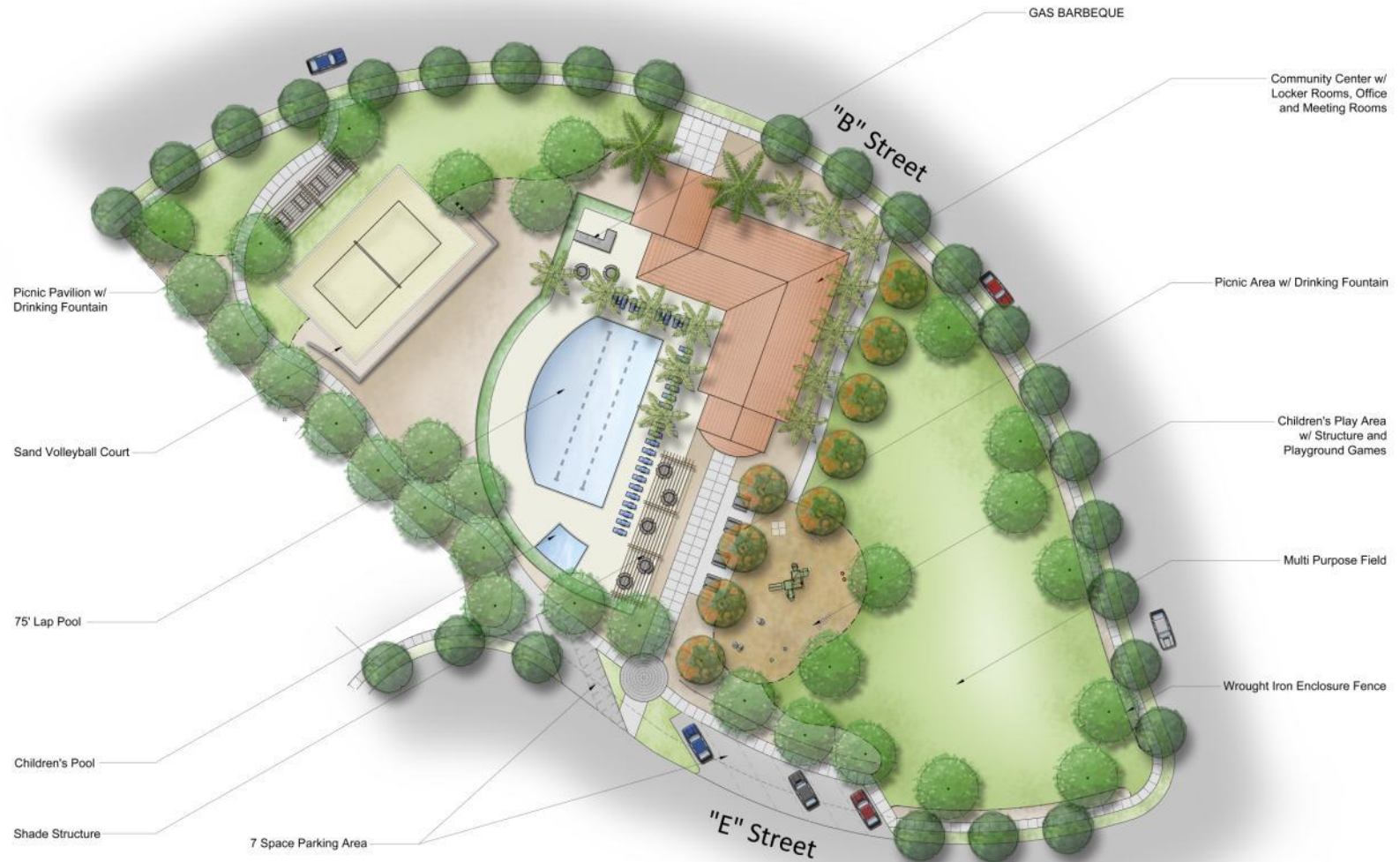
Tributary LA, Inc.  
Landscape Architecture  
5411 Avenida Encinas, Suite 200  
Carrollton, CA 94506  
760.438.3300 office  
760.438.3309 fax

## EXHIBIT 6-2 PORTOLA NORTHWEST NEIGHBORHOOD PARK CONCEPTUAL PLAN





**EXHIBIT 6-3  
PORTOLA NORTHEAST NEIGHBORHOOD PARK CONCEPTUAL PLAN**



# Portola Center - South

Park Enlargement

by Sunranch Capital Partners LLC

Tributary LA, Inc.

Landscape Architecture

5411 Avenida Encinas, Suite 280

Carlsbad, CA 92008

760.438.3304 office

760.438.3306 fax



## EXHIBIT 6-4 CENTRAL PARK & COMMUNITY RECREATION CENTER CONCEPTUAL PLAN



# Portola Center - South

South Perimeter Park  
by Sunranch Capital Partners LLC

Tributary LA, Inc.  
Landscape Architecture  
5411 Avenida Encinas, Suite 280  
Carlsbad, CA 92008  
760.438.3304 office  
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11/07 02 Apr 13

## EXHIBIT 6-5 PERIMETER PARK AND EXERCISE STATIONS #4-6 CONCEPTUAL PLAN



## **6.4 TRAIL FACILITIES**

The Portola Center trail system links the Project to the existing system of trails located within the open space areas around the Project site. The Project includes approximately 1.5 miles of new public use trails, including new walking, hiking, and jogging trails with workout stations ("par courses"), viewing and rest areas, and picnic areas, and improvements to the existing Aliso Serrano Riding & Hiking Trail and Whiting Ranch Trail.

The existing and proposed trails in the project will be grade separated where they are adjacent to residential neighborhoods in order to preserve the privacy of the residents above and to make the dominant focus of the trails the surrounding open space and views. Paseos are located at various places along the Project's trail system to provide convenient neighborhood access to the trails. The trails and the paseos will also serve as access for fire safety personnel to the Project's perimeter slopes and walls in the event of a wildland fire. The Project's trail system is also integrated into the maintenance access for the Project's MSE retaining walls along its southwestern boundary. Exhibit 6-6 below shows the Project's entire Trail System including enhancements to existing trails and the new "Perimeter Trail" discussed below.

### **6.4.1 PERIMETER TRAIL**

The Project includes a new 1.5-mile-long "Perimeter Trail" along the southern boundary of the South Planning Area. The Perimeter Trail begins in the southwestern corner of the 5-acre Community Park and extends along much of the southwestern perimeter and ridge of the Planning Area. Approximately half way along its path on the southwestern ridge of the Project site, the trail branches into two trail segments, one that continues along the ridge of the Project site and a second trail that borders the natural open space areas found just off of the Project site on the Southern California Edison Transmission Corridor Property where the trail connects up with the existing regional trail system, including the SCE Regional Riding & Hiking Trail and the Aliso Creek Trail.

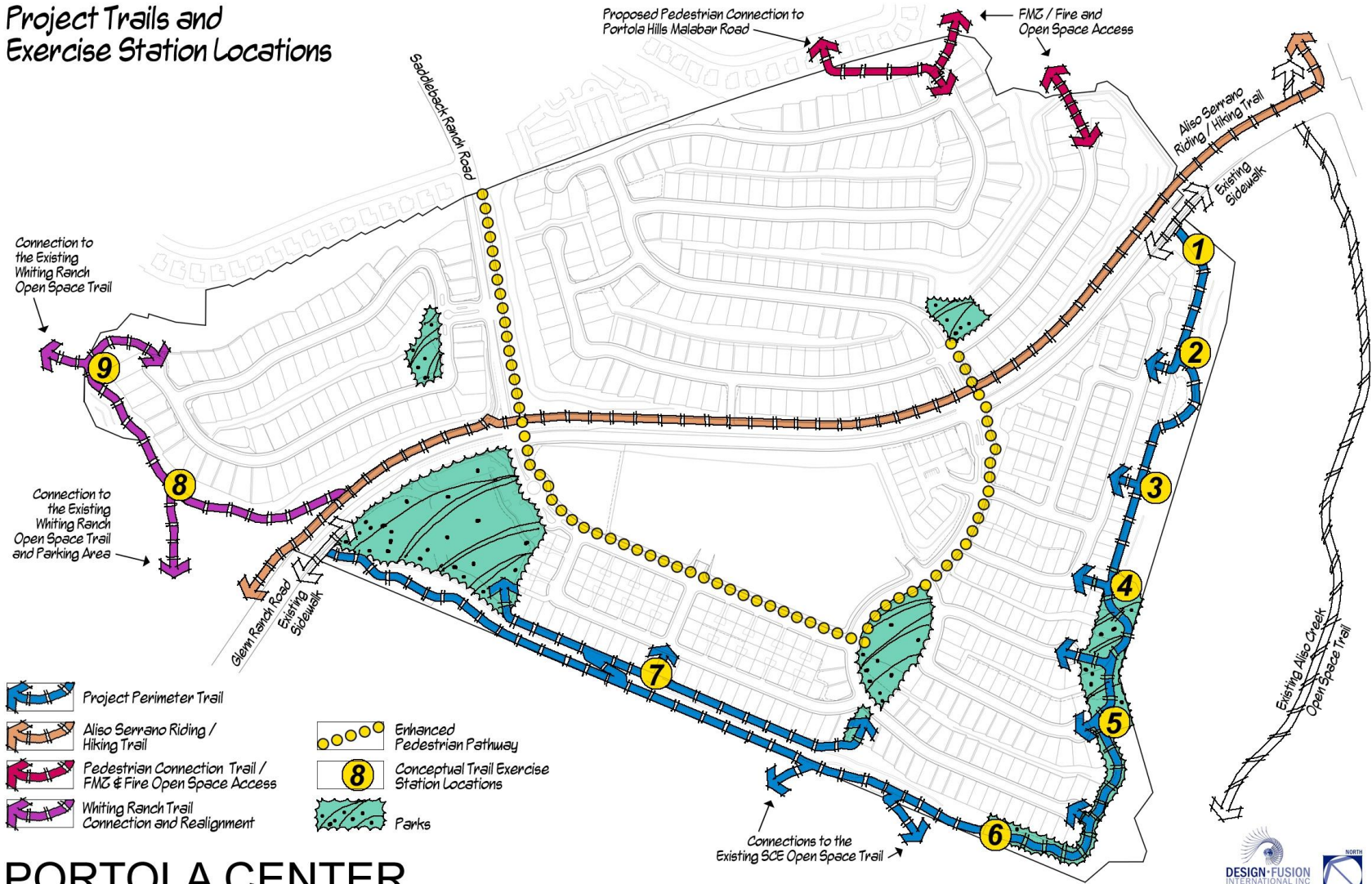
The upper segment of the trail continues along the ridge of the Project, connecting to two paseos along the way, one into Neighborhoods R-3 and R-6, and a second expanded paseo that connects the trail to the Project's Central Park and Community Recreation Center. The lower segment of the trail extends along the entire SCE edge where it serves as a combined access road and trail. The trail connects out to Glenn Ranch Road on the west side and a separate segment continues southeasterly eventually climbing back up and around to the Project's Perimeter Park located along the southeastern perimeter of the Project. The Perimeter Trail continues through the Project's southeastern Perimeter Park and follows along the southeastern edge of the Portola South Planning Area, connecting out to the south side of Glenn Ranch Road near the eastern most Project boundary.

The trail is designed as a hiking, jogging, and walking trail within a ten to twenty-foot-wide easement consisting of a decomposed granite or similar base material, a concrete block retaining wall with a maximum height of five feet on much of its interior side, and safety fencing on its exterior side. Along the ridgeline of the Project, the trail will have a minimum pathway width of six feet within a ten-foot-wide easement. Along the Project's boundary with the SCE open space areas, the trail width will be 10 feet within a 20-foot-wide easement. Seven activity stations, including "par courses", viewing and rest areas, and picnic areas, are planned at various locations along the upper portions of the trail as "trail amenities". Multiple paseos provide pedestrian and maintenance connections to the Perimeter Trail from the Project's neighborhoods and parks.

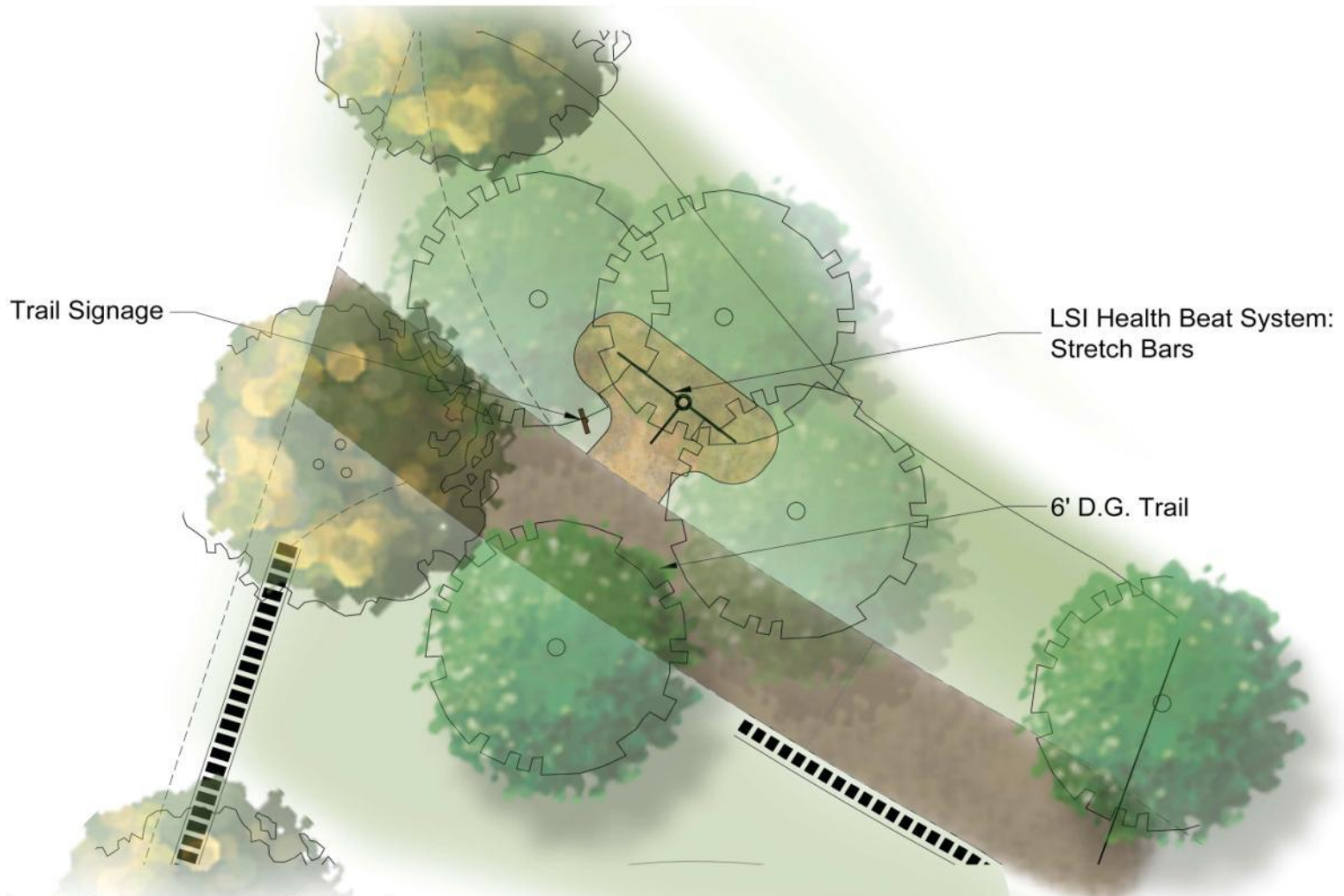
Exhibit 6-6 below shows the layout of the Perimeter Trail and the nine different activity stations. Exhibit 6-5 above shows the layout of the Perimeter Trail and Activity Stations 4 through 6 within the Perimeter Park, and conceptual layouts of the other activity stations are shown in Exhibits 6-7 through 6-13 below.



# Project Trails and Exercise Station Locations



**EXHIBIT 6-6  
PORTOLA CENTER TRAIL SYSTEM**



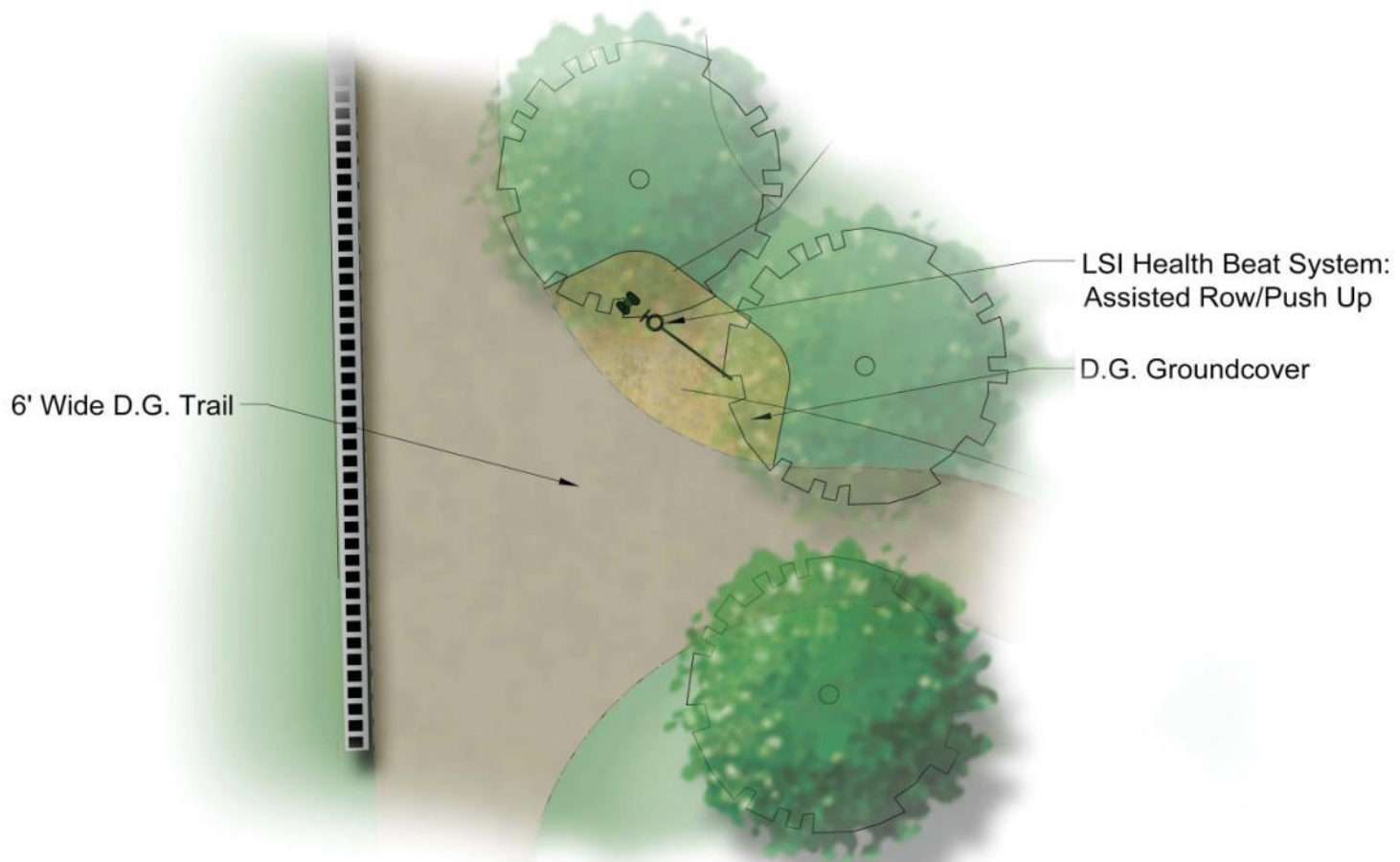
# Portola Center - South

Exercise Station #1  
 by Sunranch Capital Partners LLC

Tributary LA, Inc.  
 Landscape Architecture  
 9411 Avenida Encinas, Suite 200  
 Carlsbad, CA 92008  
 760-438-3394 office  
 760-438-3306 fax  
 11/07 02 Apr 13

## EXHIBIT 6-7 PORTOLA CENTER ACTIVITY STATION #1





# Portola Center - South

Exercise Station #2

by Sunranch Capital Partners LLC

Tributary LA, Inc.  
Landscape Architecture  
9411 Avenida Encinas, Suite 200  
Carlsbad, CA 92008  
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760-438-3306 fax

11/07 02 Apr 13

## EXHIBIT 6-8 PORTOLA CENTER ACTIVITY STATION #2

6' Wide D.G. Trail

Community Access

LSI Health Beat System:  
Plyometrics

D.G. Groundcover

# Portola Center - South

Exercise Station #3

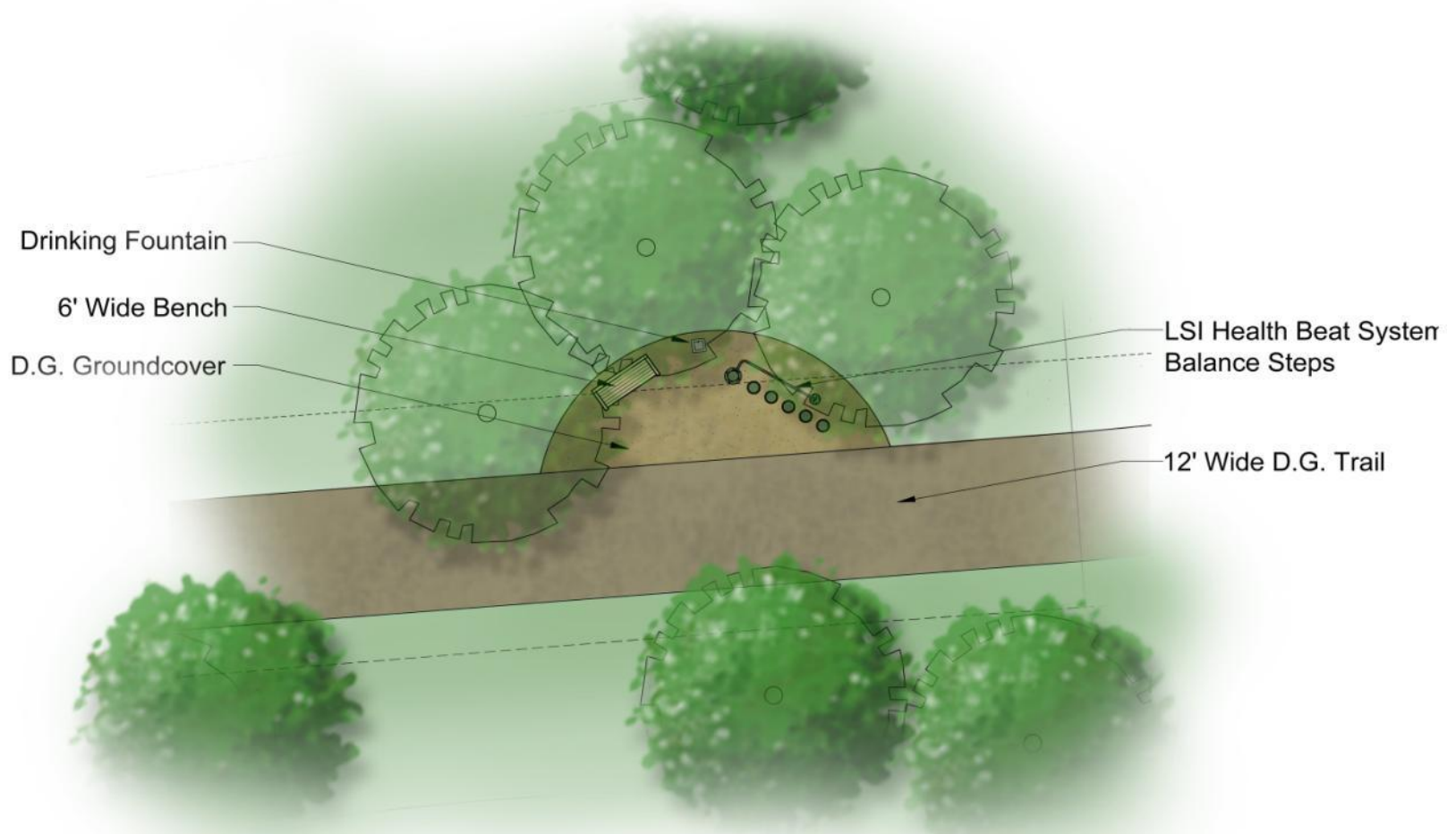
by Sunranch Capital Partners LLC

Tributary LA, Inc.  
Landscape Architecture

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Carlsbad, CA 92008  
760.438.3104 office  
760.438.3206 fax



## EXHIBIT 6-9 PORTOLA CENTER ACTIVITY STATION #3

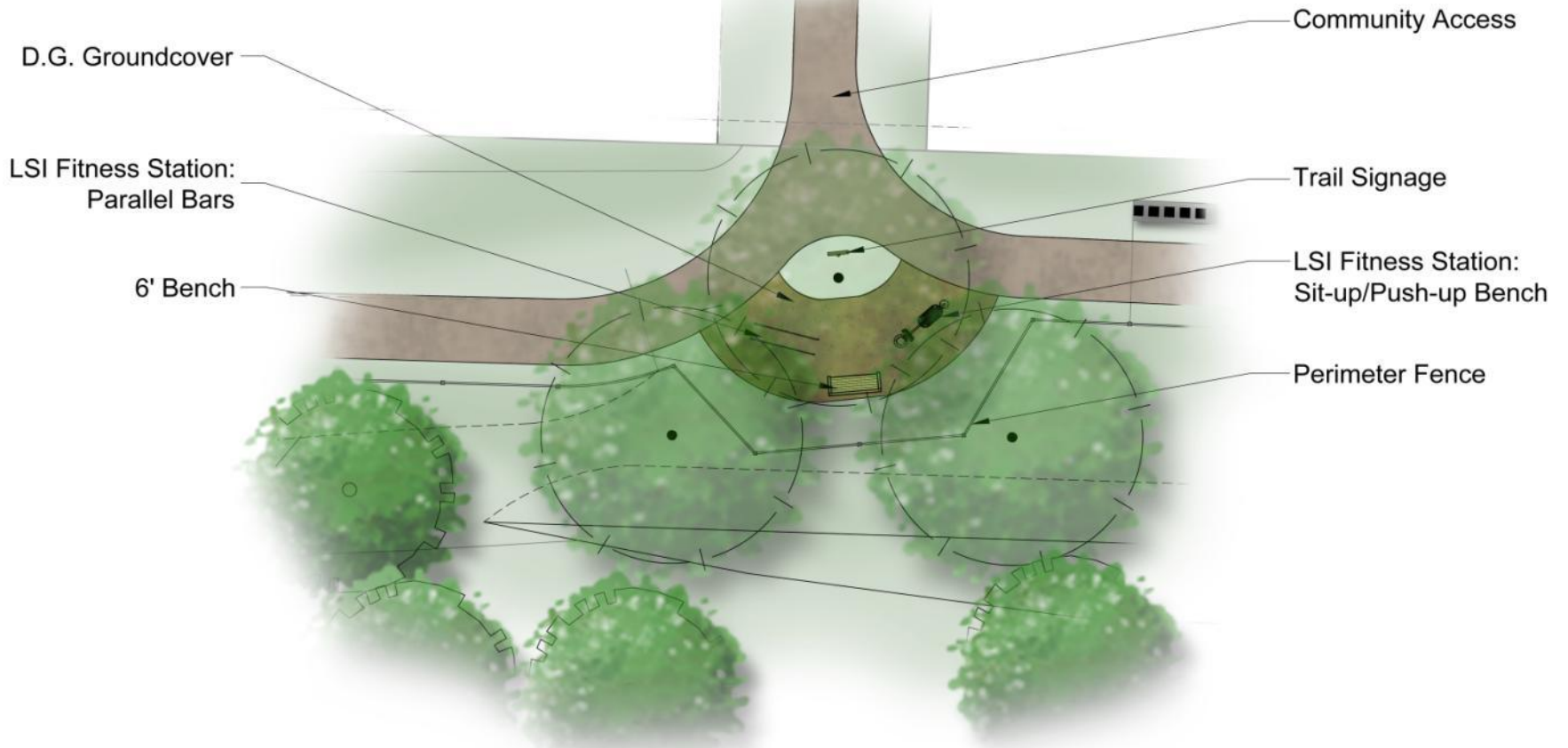


# Portola Center - South

Exercise Station #6  
 by Sunranch Capital Partners LLC

Tributary LA, Inc.  
 Landscape Architecture  
 9411 Avenida Encinas, Suite 200  
 Carlsbad, CA 92008  
 760.438.3104 office  
 760.438.3206 fax  
 1:1000 02 Apr 13

## EXHIBIT 6-10 PORTOLA CENTER ACTIVITY STATION #6



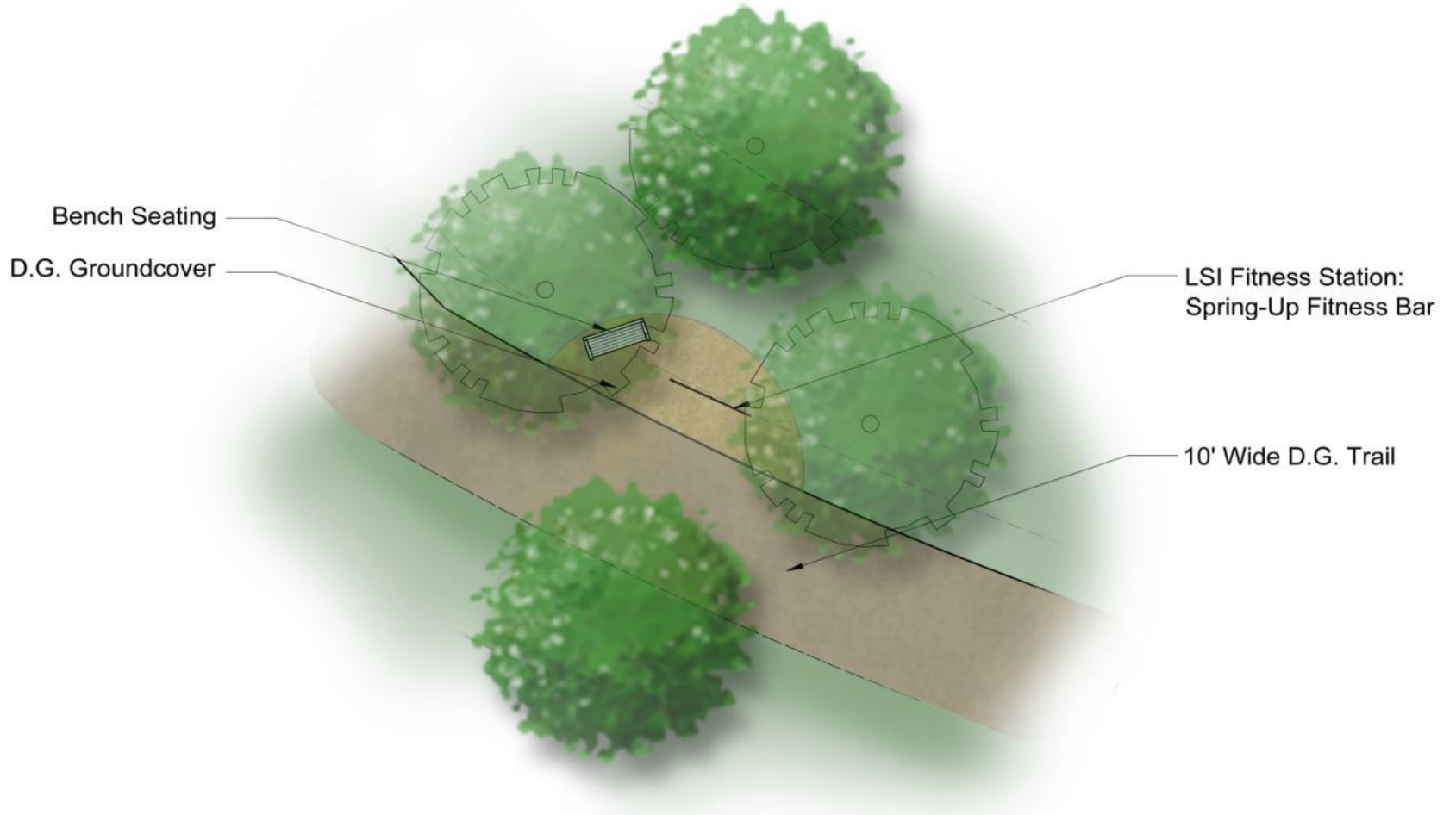
# Portola Center - South

Exercise Station #7

by Sunranch Capital Partners LLC

Tributary LA, Inc.  
 Landscape Architecture  
 9411 Avenida Encinas, Suite 200  
 Carlsbad, CA 92008  
 760.438.3304 office  
 760.438.3304 fax  
 11/07 02 Apr 13

## EXHIBIT 6-11 PORTOLA CENTER ACTIVITY STATION #7



# Portola Center - North

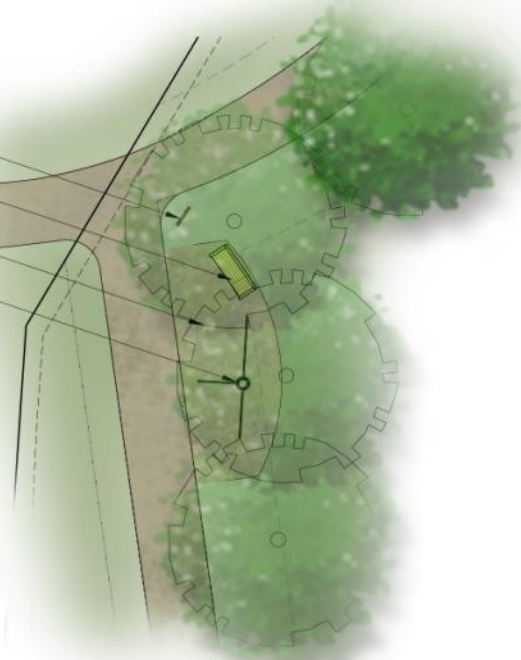
Exercise Station #8

by USA Portola LLC

Tributary LA, Inc.  
Landscape Architecture  
3411 Avenida Encinas, Suite 200  
Corte Madera, CA 94929  
707.920.7200 office  
707.920.7200 fax

## EXHIBIT 6-12 PORTOLA CENTER ACTIVITY STATION #8

- Trail Signage
- Bench Seating
- D.G. Groundcover
- LSI Health Beat System:  
Stretch Bars



## Portola Center - North

Exercise Station #9  
by USA Portola LLC.

Tributary LA, Inc.  
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1001 E. Broadway, Suite 100  
Pasadena, CA 91106  
Tel: 626.791.1111  
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### EXHIBIT 6-13 PORTOLA CENTER ACTIVITY STATION #9

**6.4.2 ALISO SERRANO RIDING & HIKING TRAIL ENHANCEMENTS**

The existing Aliso Serrano Riding and Hiking Trail is a dirt trail that travels along the north side of Glenn Ranch Road connecting the Aliso Creek Riding & Hiking Trail and Open Space Area with the Whiting Ranch Wilderness Park. Portola Center enhances this trail with landscaping, a decorative pedestrian-scale retaining wall, and fencing to those portions of the existing Aliso Serrano Riding & Hiking Trail inside the Project boundaries. The Portola Center Project will incorporate a landscaping buffer separating the street and sidewalk of Glenn Ranch Road from the trail, an open ranch-style equestrian fence along the trail's outside edge, and a pedestrian-scale decorative retaining wall along much of the trail's inside edge where it abuts the Project landscaped slopes. Exhibit 6-6 above shows the layout of the Aliso Serrano trail enhancements and exhibit 6-14 below shows a conceptual photo simulation of the trail with enhancements.



*Proposed Aliso Serrano Riding and Hiking Trail Beautification*

- ← 5' high Retaining Wall
- ← 4' high Equestrian Fence
- ← Planting Area between the Existing Sidewalk and the Existing Trail
- ← Glenn Ranch Road

**PORTOLA CENTER** Aliso Serrano Regional Riding and Hiking Trail along Glenn Ranch Road

April 20, 2013 

**Exhibit 6-14  
Aliso Serrano Trail Photo Simulation**

**6.4.3 WHITING RANCH COYOTE BRUSH TRAIL REALIGNMENT & ENHANCEMENTS**

The existing Whiting Ranch Coyote Brush Trail begins along the north side of Glenn Ranch Road west of the Saddleback Ranch Road/Glenn Ranch Road Intersection as a branch along the Aliso Serrano Riding & Hiking Trail. The Whiting Ranch Trail presently traverses the southwestern edge of the Portola Northwest Planning Area and connects to the Whiting Ranch Wilderness Park. The Portola Center Project realigns a portion of this trail where it traverses the Project site with the new alignment traveling around the boundary of the Northwest Planning Area and then into the Whiting Ranch Park. Portola Center enhances this realigned portion of trail with two activity stations and a pedestrian connection into the Northwest Planning Area.

# PORTOLA CENTER AREA PLAN

## CHAPTER SEVEN

### **COMMUNITY DESIGN GUIDELINES & DEVELOPMENT STANDARDS**

- 7.1 PORTOLA CENTER DESIGN PHILOSOPHY**
- 7.2 COMMUNITY VISION**
- 7.3 PROJECT GATEWAYS AND ENTRY DESIGN**
- 7.4 ARCHITECTURAL DESIGN GUIDELINES**
- 7.5 SITE DEVELOPMENT STANDARDS**
- 7.6 COMMUNITY WALLS AND FENCES DESIGN GUIDELINES**
- 7.7 SHARED PARKING AREA DESIGN GUIDELINES**
- 7.8 STREET FURNITURE DESIGN GUIDELINES**
- 7.9 COMMUNITY SIGNAGE AND ADVERTISING GUIDELINES**



The Portola Center Community Design Guidelines and Development Standards are intended to guide to the design of site plans and building architecture for the Project. The development concept for Portola Center consists of residential neighborhoods arranged around the neighborhood Mixed Use Center and park areas. The purpose of the Design Guidelines and Site Development Standards in this Chapter is to ensure that all development within Portola Center will maintain a high standard of design embodied in this Area Plan.

## **7.1 DESIGN PHILOSOPHY**

Portola Center will include a diversity of land uses. Implementation of these Design Guidelines will ensure that Portola Center's finished environment reflects the following design goals:

- Establish a pedestrian-oriented community which reduces the reliance on the automobile by emphasizing connectivity and access through walking, the use of bicycles, and social interaction.
- Create a cohesive community between the Project's various neighborhoods north and south of Glenn Ranch Road.
- Provide a comprehensive approach to pedestrian and recreational elements of the Project.
- Complement the adjacent Portola Hills community by providing single family homes in the northern planning areas of Portola Center.
- Fuse the Project with the surrounding natural environment through coordinated architecture, landscaping, and Project design elements along the Project's perimeter areas.
- Develop a high quality/cohesive design concept that creates a strong community image for Portola Center.
- Provide an innovative and diverse range of housing densities and home types

## **7.2 COMMUNITY VISION**

Portola Center proposes walkable neighborhoods made up of diverse housing types, connective open space linkages and parks, a central Mixed Use Center, and a public 5-acre Community Park. The Regional Park and open space preserve areas which surround the community will be accessed from many pedestrian paseos, parks, and trail system, allowing for a range of recreational experiences from exercise activities to quiet enjoyment of these natural areas and views in the distance.

Portola Center is designed to allow all of the residents of Portola Hills and Portola Center easy access to the open space, parks and views that surround this Planned Community, with particular consideration given to the view potential of the Project's home sites. The community design theme is a simple, yet strong statement which identifies the community with the early California Heritage, a blend of Craftsman, Spanish, Mediterranean, Tuscan, Italianate, and European architectural styles that have evolved in California since the 1700's. The early California Heritage design theme is meant to blend with the existing Portola Hills residential design yet maintain its own community identity. The architectural styles and design of the Project's other residential neighborhoods and internal neighborhood parks should all reinforce the early California Heritage design theme.

A combination of thematic elements will blend the non-residential and the residential areas of the Project with streetscapes, park and common area landscaping, exterior fences and walls, and signage all components of the California Heritage style that unifies the design of Portola Center.

The design criteria and architectural styles contained in this Area Plan are not intended to be overly restrictive or limiting, but instead are meant to assist in the design and creation of a range of high quality, architecturally appealing neighborhoods tied together by a central community design theme. The most visible and strongest interpretation with the highest level of detailing should occur in the Mixed Use Center as the most prominent example of the community design theme.

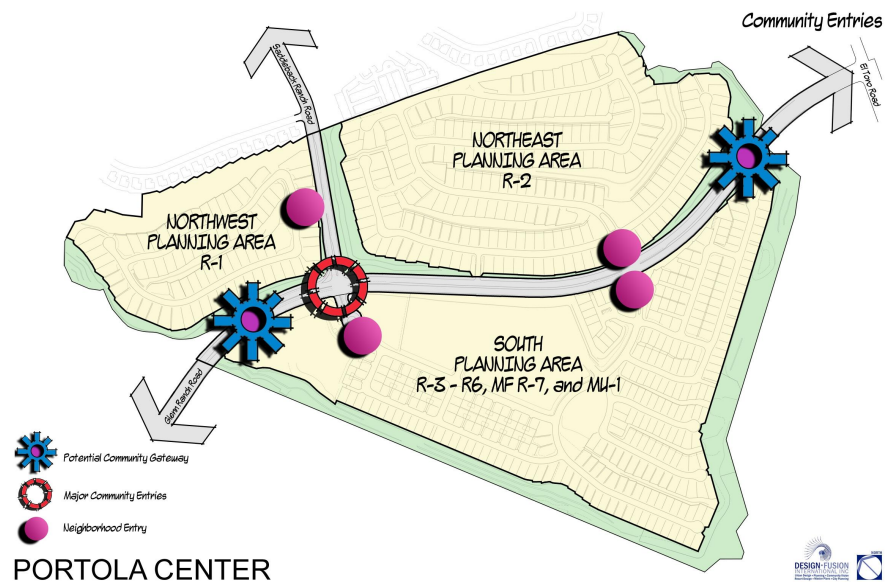
### 7.3 PROJECT GATEWAYS AND ENTRY DESIGN

Community gateway monuments and community entries can provide an introduction to, and first impression of, the Portola Center and Portola Hills Communities, creating the sense of arrival through the use of landmark monuments, decorative walls, and enhanced landscaping. The Portola Center Project proposes two major community entries that identify the broader area of the Portola Hills and Portola Center Communities and secondary neighborhood entries that relate to the specific neighborhoods of Portola Center. The Project also proposes potential community gateway monuments that would be along the western and eastern entrances into the larger Community of Portola Hills along Glenn Ranch Road. Exhibit 7-1, also presented in Chapter 4, below identifies potential locations for these community gateways and the proposed community entries and neighborhood entries. Exhibit 7-2 depicts a potential conceptual design of a gateway monument. Exhibits 7-2 through 7-5 depict conceptual designs in elevation and plan view of proposed community entry monuments at the Intersection of Saddleback Ranch Road and Glenn Ranch Road. Exhibits 7-6 through 7-9 provide elevation and plan view conceptual designs of the four neighborhood entries of the Portola Center Project.

The most identifiable elements of the community entry into Portola Center are the 5-acre Community Park on the southwest corner and the Mixed Use Center on the southeast corner of the Glenn Ranch Road/Saddleback Ranch Road intersection. This park is strategically placed for community and city-wide access and to promote the Project's views and the surrounding open space setting. The community entry concept for Portola Hills is proposed at the northeast corner of the intersection. The proposed design concept includes a Portola Hills community sign, an iconic Coast Live Oak specimen tree, decorative pedestrian scale walls, and a set of trellises as pedestrian gateways to the community and neighborhoods to the north.

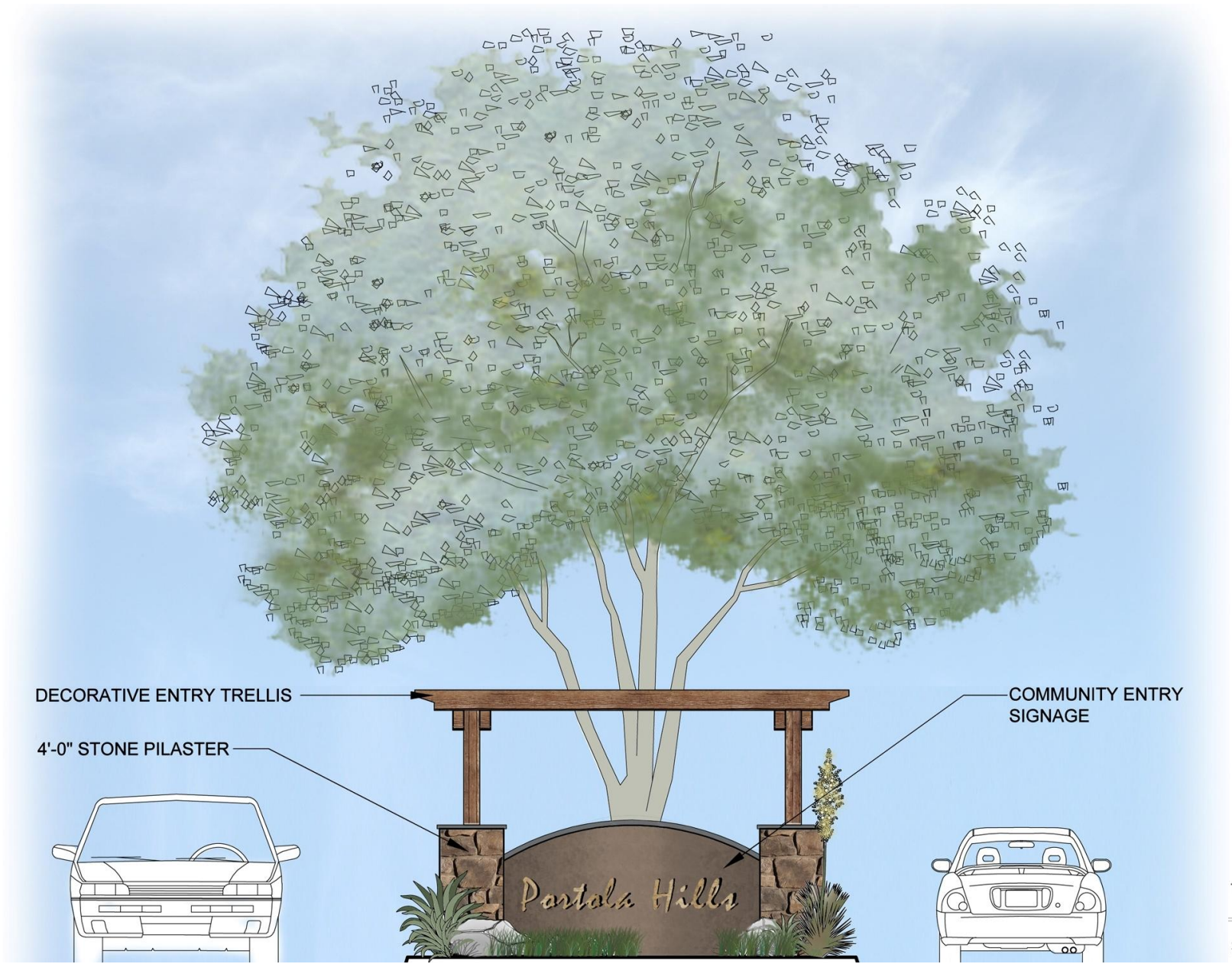
Portola Center's Neighborhood Entries are located along Saddleback Ranch Road, Glenn Ranch Road, and internal to the Project site near the entrance to the 5-acre Community Park. These entries will use design elements which reflect those used in the community entries and serve as the introduction to the community vision for the landscape and architectural design of the Project.

The primary design goals of the community gateways and community entries are to incorporate natural and structural elements that fit with the rural aspects of the Portola Hills and Trabuco Canyon area while also creating the foundation for connecting the surrounding area with the new community of Portola Center and the existing community of Portola Hills. To achieve this, organic materials such as wood, stone, identifying plant and tree specimens, and decorative walls with color tones that blend with the natural environment should be used to reinforce the rural aspects of the area while also providing a visual connection to the built environment of the area with its surrounding natural environment.



**Exhibit 7-1  
Portola Center Community & Neighborhood Entries**

The final design for the Portola Hills Community Entry and potential community gateways will be implemented through the City's Planned Sign Program with the input of the community and the City. The concept designs included in this Area Plan are meant only for illustrative purposes to provide guidance on what the design elements these community gateways and entry monuments could ultimately include.



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**Exhibit 7-2  
 Potential Community Gateway Monument Concept**

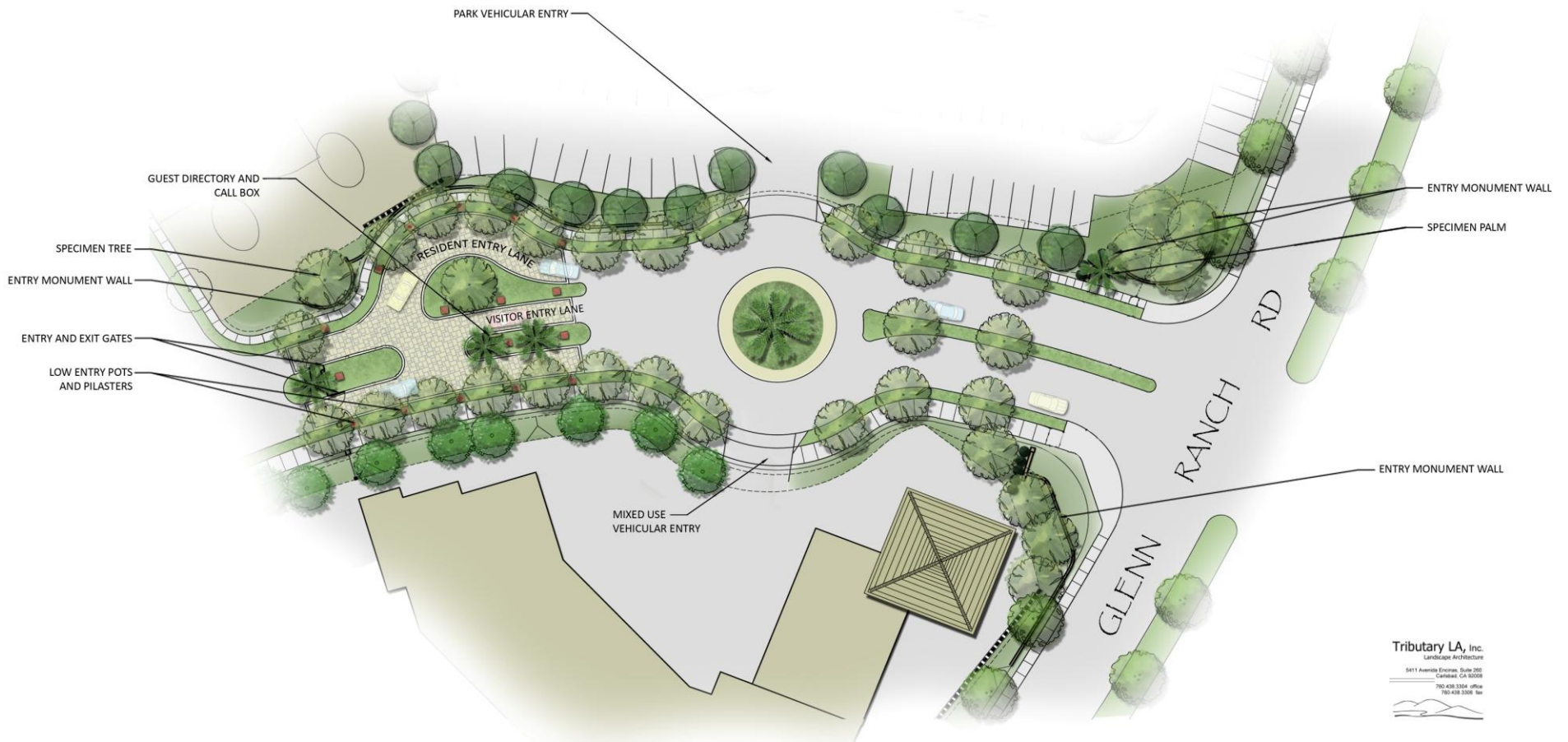


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**Exhibit 7-3**  
**Portola Hills Community Entry Concept (@Northeast Corner of Saddleback & Glenn Ranch Road Intersection)**



**Exhibit 7-4**  
**Portola Center Community Entry—Elevation View (@South Leg of Saddleback & Glenn Ranch Road Intersection)**



**Exhibit 7-5**  
**Portola Center Community Entry –Plan View (@South Leg of Saddleback & Glenn Ranch Road Intersection)**



**Exhibit 7-6**  
**Portola Center Neighborhood Entry—Elevation View (Southwest Village Entrance)**

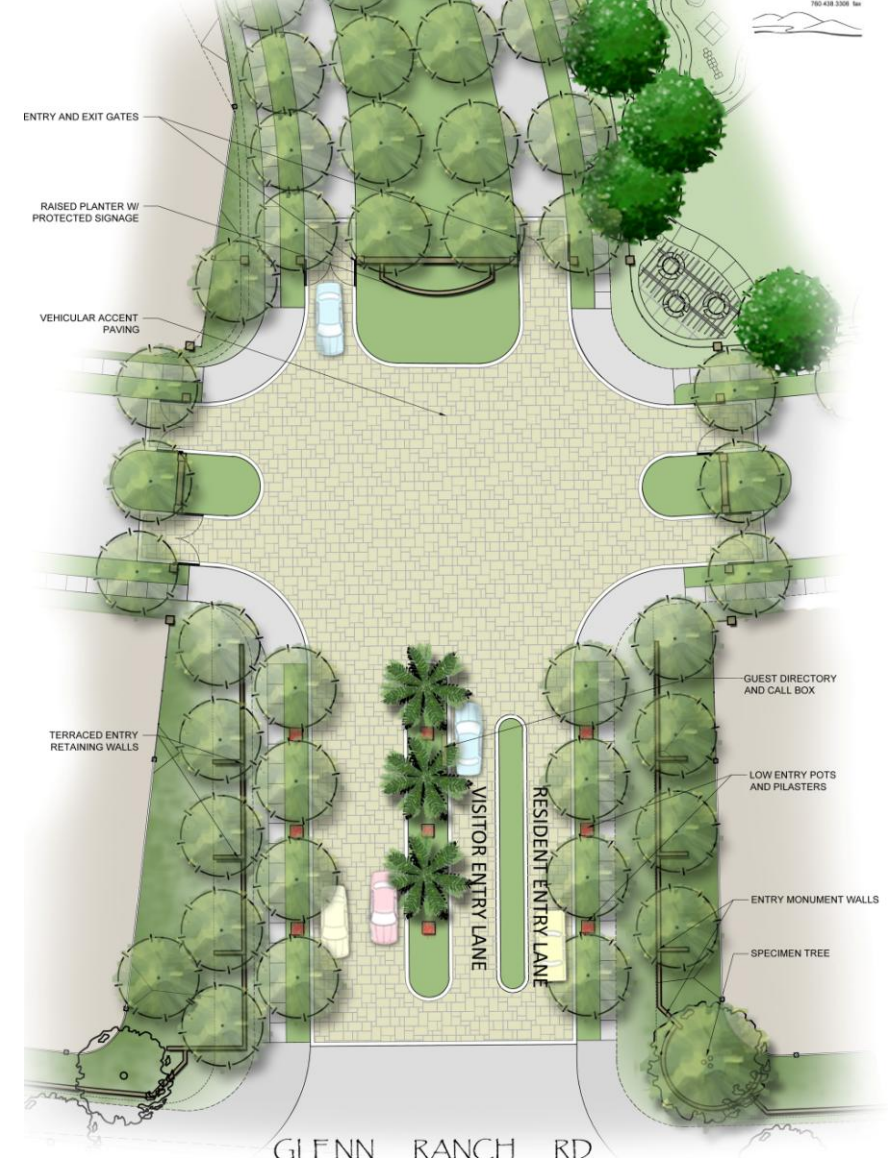
**(NOTE: See Exhibit 7-5 for Plan View of Southwest Village Neighborhood Entry)**



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**Exhibit 7-7**  
**Portola Center Neighborhood Entries—Elevation Views (Northwest and Northeast Village Entrances)**





**Exhibit 7-8**  
**Portola Center Neighborhood Entries—Plan Views (Northwest and Northeast Village Entrances)**



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**Exhibit 7-9  
 Portola Center Neighborhood Entry—Elevation & Plan Views (Southeast Village Entrance)**

## **7.4 ARCHITECTURAL DESIGN GUIDELINES**

The goal of the architectural design guidelines is to provide general design criteria and guidance. The guidelines promote variety in a community setting while maintaining visual compatibility by utilizing high quality architectural design. Residential Design Guidelines are provided for the Single-Family detached homes, both conventional and non-traditional, and the Multi-Family residential neighborhood. Non-Residential Design Guidelines are provided for the Mixed Use, Retail and other community buildings within the Project. Accordingly, the guidelines and development standards are intended to be flexible and to guide the special design considerations which will arise over time, accommodating the changes in lifestyles, economic conditions, consumer preferences, community desires, and the residential and commercial marketplaces. With the development of each Project component, the Design Guidelines help to ensure that the quality and fundamental concepts established at the community design level are maintained all the way through the design and construction of individual sites and buildings within the Project. Within the Design Guidelines, the term "shall" is used to establish the required design elements and features, and the term "should" is used to establish the preferred design elements and features such that alternative measures which meet or exceed the intent of the Guidelines may be used.

The architectural styles chosen for the portions of the project are closely associated to styles that have evolved in California over many decades. The criteria and architectural styles are not intended to be restrictive, but are meant to assist in achieving a high level of design quality. The application of the details and character of the architectural styles should be as authentic as possible. Plotting and massing of the homes is intended to provide a variety in appearance as well as a sense of individuality for each detached single family home.

To implement the Project's overall design vision at the architectural level, the following guidelines shall apply:

### **SITE PLANNING (ALL NEIGHBORHOODS):**

- Mount mechanical and electrical equipment, utility connections, and antennas within the interior of a building whenever practical. When interior mounting is not practical, screen mechanical equipment from view whenever possible. If the mechanical equipment is ground mounted, screen the equipment with the use of walls, fences, or landscaping compatible with the building architecture.
- Encourage the use of variation in architectural styles, front and side yard elevations, setbacks, and building massing and variety and reversal of floor plans, where feasible, along residential streets.
- Maximize view potential through the use of building orientation and maintain privacy for residential buildings adjacent to natural open space and recreation areas with the use of landscaping and fencing.
- Orient the front doors of single family homes and multi-family buildings along the "Promenade Street" toward the street whenever possible. Residential parcel edges adjacent to the "Promenade Street" shall orient the front elevations and front doors of single family homes and multi-family buildings toward the street to the extent practical. With the exception of patio walls up to forty-two (42") inches high, rear and side yard walls in this condition may only be located between buildings. In the cases where non-front elevation of a single family home of a multi-family building must face the "Promenade Street", that elevation shall be treated with architectural elements and window trimming consistent with the buildings front elevation. Building articulation and/or staggering, roof plane breaks, hip roofs, and accent colors are also encouraged

### **SITE PLANNING (MIXED USE CENTER):**

- Provide well-articulated, identifiable entry sequences for the pedestrian and vehicular users at the Mixed Use Center and Multifamily Neighborhoods.
- The courtyards and plazas closest to the highest use pedestrian areas shall have the highest level of design detail

## **BUILDING FORM AND MASSING:**

- Organize the overall massing of each building as a whole unit to avoid the building appearing as a mixture of unrelated forms.
- Set back certain parts of the second story front elevation plate lines from first story elevations to help break up monolithic building mass, where practical.
- Residential areas oriented toward pedestrian activity should be designed at a “human scale”.
- Locate multi-family buildings no closer than five feet to the top-of-slope edge of pad, or incorporate the slope into the building design by use of a lowered front portion(s) of the building, entry steps and walls, or other acceptable design techniques

## **BUILDING APPEARANCE:**

- Roof forms, windows, entries and doors shall aesthetically complement each other and reflect the architectural style of the building.
- Second floor pedestrian spaces shall incorporate outdoor living spaces to open up to views as much as possible.
- Design gutters and downspouts as continuous architectural features that fit with the building’s architectural style and match the surface or accent color of the building. Integrate down spouts within the Mixed Use Center into the façade of the structure(s).
- Design all appurtenant structures (balconies, trellises, patio covers, sunshades, awnings, gazebos and similar) to be consistent with the primary structure.
- Use architectural projections to building facades to provide visual interest and avoid a repetitive appearance.
- Design non-residential buildings (e.g., the HOA Recreation Center building(s) and recreation concessionaire, and restroom facilities in the 5-acre Park) with an architectural style that is compatible with the architectural style(s) of the neighborhoods in their immediate vicinity and with the overall design theme of the Project. These buildings can incorporate architectural elements that fit with the residential setting of the Project while also emphasizing their fundamentally non-residential nature. For example, the buildings in the 5-acre Park should be designed using an architecture style that is generally consistent with the architectural style used for the Mixed Use Center.

### **7.4.1 ARCHITECTURAL THEMES**

Homes within each neighborhood will reflect a variety of architectural themes or styles will be used to create a community that looks as if it has been developed over time, rather than all at once. Several architectural styles are suggested as models for development at Portola Center. Each style includes ideas from which a contemporary version may be derived. The selected styles are intended to provide direction to the architect, while allowing latitude in the interpretation of the style through use of the style elements listed. The styles represented are not intended to be prescriptive, but are intended to provide inspiration and encouragement. Contemporary versions of these styles may appear different from the sketch examples shown. However, contemporary interpretations should use many of the style elements illustrated to create buildings that contain sufficient characteristics so that the chosen style is evident. Emphasis should be placed on the building form, articulation, elevations, and key architectural elements such as the roof style and pitch, windows, defining features such as columns or stone work, and facades to denote the chosen architectural style.

***Craftsman, Monterey, European Cottage, European Estate, Italianate, Spanish Revival, and Old Santa Barbara*** are all appropriate architectural styles that are derived from the historical styles of early California Heritage. The historical basis for these styles should not be interpreted as a mandate to create an

exact replica. The styles include specific design characteristics that should be selected from to design a contemporary building. These styles are discussed in more detail below.

## CRAFTSMAN

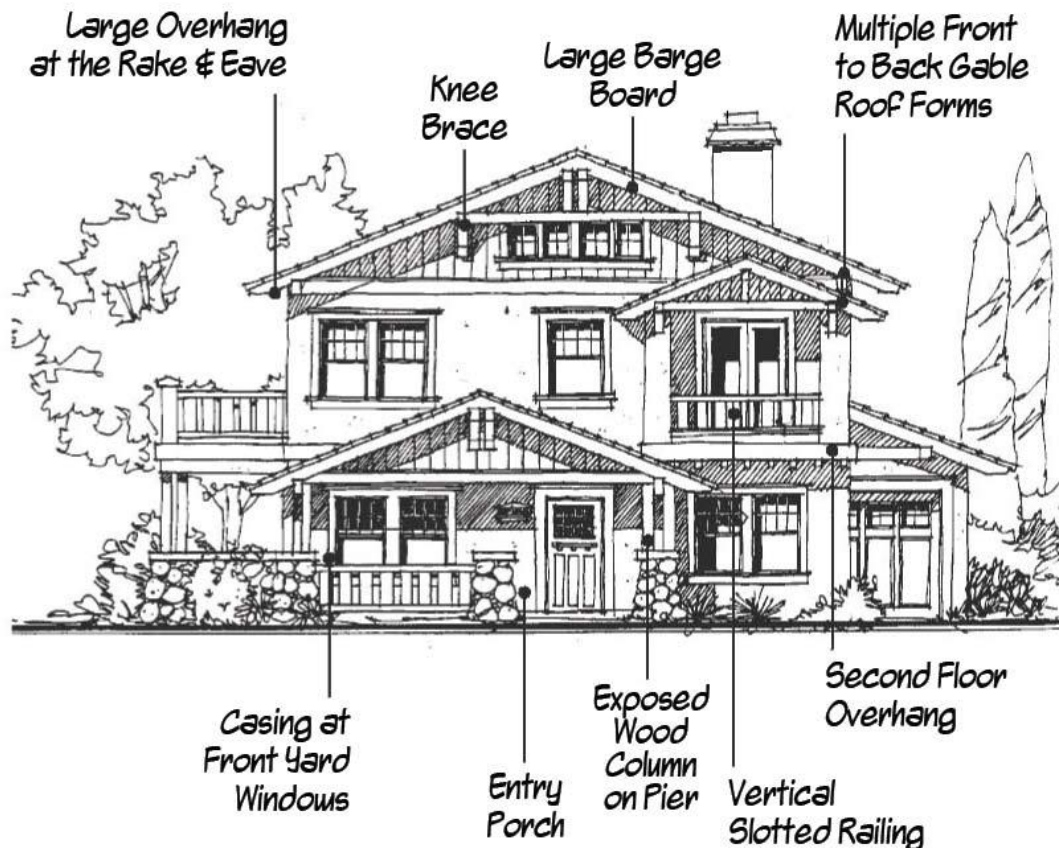
The Craftsman style was inspired by the English Arts and Crafts Movement of the late 19th century. The style stressed the importance of insuring that all exterior and interior elements receive both tasteful and artful attention. The resulting Craftsman style responded with extensive built-in elements and by treating details such as windows or ceilings as if they were furniture. The overall affect was the creation of a natural, warm and livable home.

The style is further characterized by the rustic texture of the building materials; broad overhangs with exposed rafter tails at the eaves and trellises over the porches. In Southern California, the Craftsman style spun out of the Bungalows that were the production home of the time. This type of architecture can be found in the classic tree-lined neighborhoods of many Southern California cities. This unique predominant look promotes hand crafted quality; thus the name Craftsman.

### Craftsman Design Characteristics

The design characteristics provide essentials for massing, scale and proportion, and building materials for understanding this particular style. They are:

- Gently pitched roofs
- Projecting gable ends and exposed rafters
- Wood columns on Pier
- Porches with supporting stone or brick veneer bases
- Siding as an accent



## **MONTEREY**

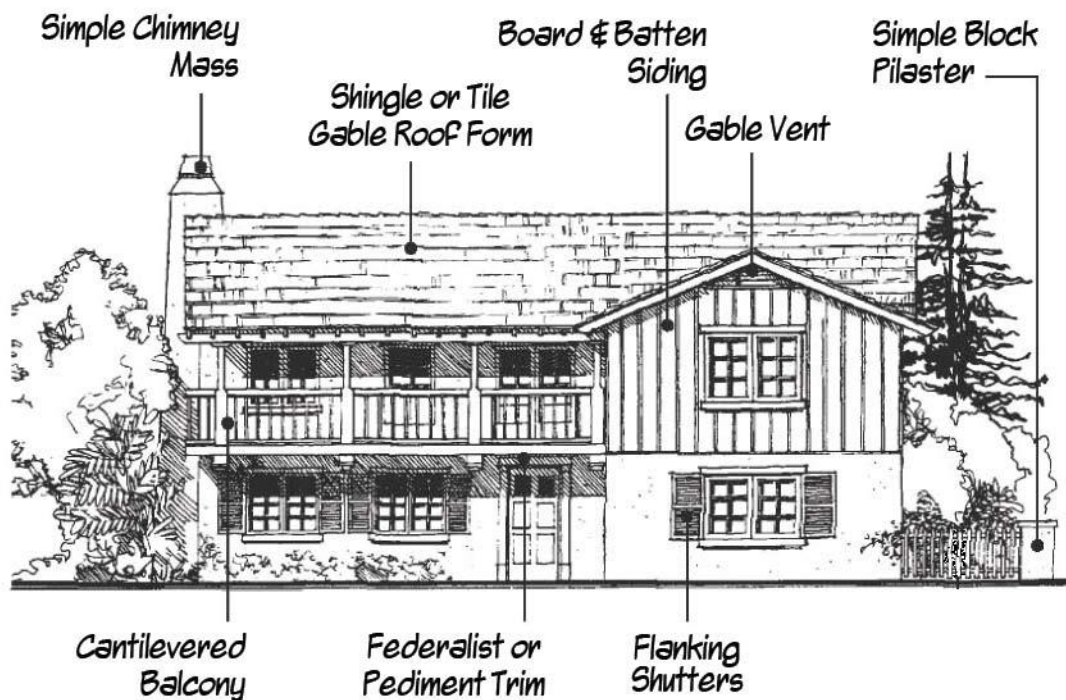
The Monterey style is a component of Mediterranean and the original Spanish-adobe construction methods. As used in these guidelines, it refers to a version of the California Adobe Style that evolved in the 1920's and 1930's based on the basic two-story New England Colonial period. Prior to this innovation in Monterey, all Spanish colonial houses in California were of single story construction.

The style was popularized by the use of simple building forms, the introduction of wood framing and the addition of second stories. Roofs featured gables or hips with broad overhangs, often with exposed rafter tails. Shutters, balconies, verandas and porches are an integral part of the Monterey character.

### **Monterey Design Characteristics**

The design characteristics provide essentials for massing, scale and proportion, and building materials for understanding this particular style. They are:

- Balconies, verandas and porches
- Contrasting materials between first and second floors
- Exposed rafter tails



## EUROPEAN COTTAGE

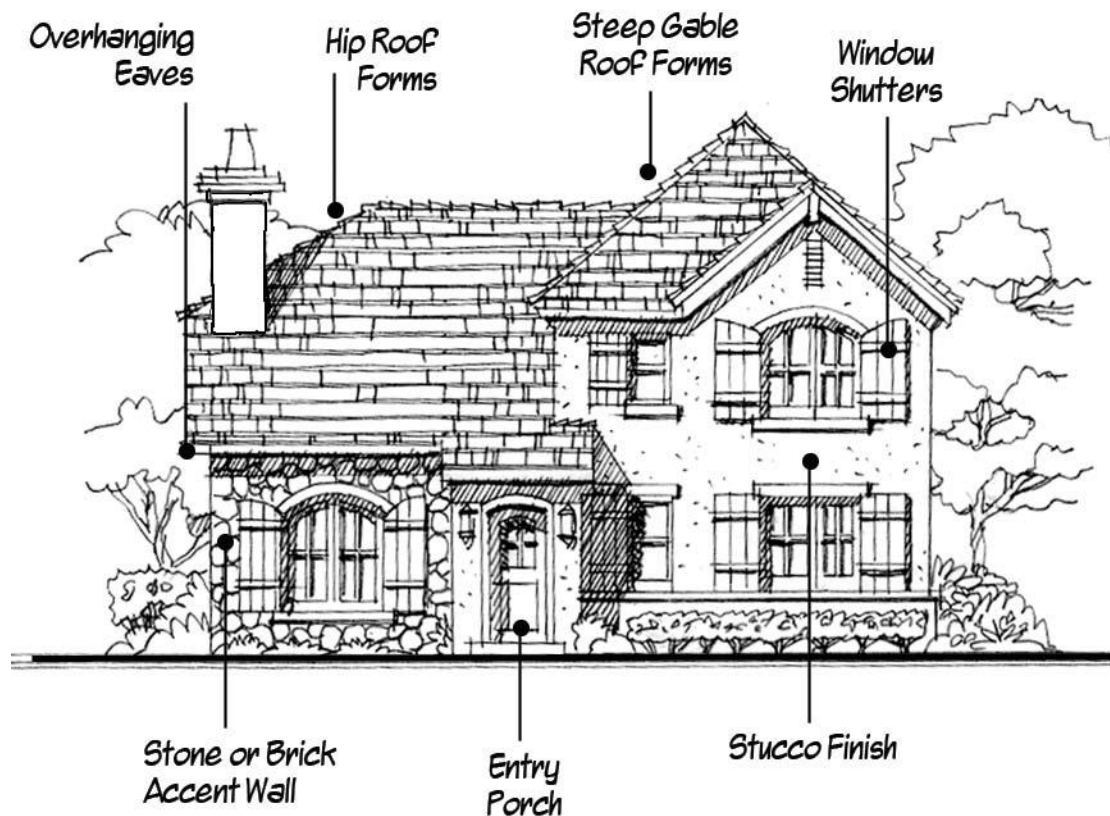
The European Cottage is a style that evolved out of the Medieval Tudor and Norman architecture. The evolving character that resulted in the English Cottage look became extremely popular when the additions of stone and brick veneer details were added in the 1920's.

Although the cottage is looked upon as small and not costly, the style was quickly recognized as one of the most popular in America. Designs for the homes typically reflected the rural setting that they evolved in. Roof pitches for these homes are steeper than traditional homes, and are comprised of gables, hips and half-hip roof forms. The primary material is stucco with heavy use of stone and brick bases, veneers and tower elements. Some of the most recognizable features for this style are the stucco accents in gable end forms and the sculptured swooping walls at the front elevation.

### European Cottage Design Characteristics

The design characteristics provide the essentials for massing, scale and proportion, building materials, and details for understanding this style. They are:

- Gentle to steep roof pitches
- Projecting gable ends
- Exposed rafter tails
- Stone and brick as a major accent on wall and/or veneer base



## EUROPEAN ESTATE

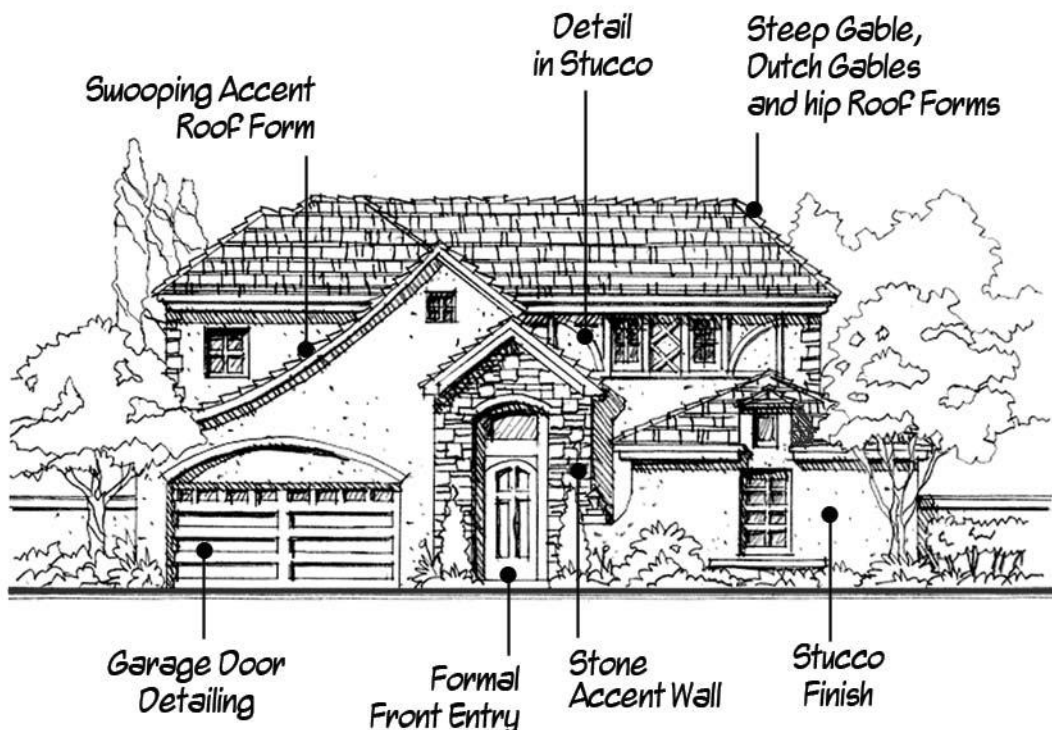
The European Estate or Revival style is a picturesque style defined from medieval English prototypes. The elements in design of steeply pitched roofs and gables blossomed in the American Eclectic expressions in the 1920's & 1930's. Many of these homes have provided a strong influence in older communities.

The overall shapes and forms contain endless variations of one and two story asymmetrical facades. Relatively uncommon at the turn of the century, this style expanded in popularity with the widespread evolution of brick and stone veneering techniques. Moreover, the period detailing allowed homes to appear real and not simulated. It is the use of brick and stone materials, often mixed, which embellishes this specific architecture.

### **European Estate Design Characteristics**

The design characteristics provide essentials for massing, scale and proportion, and building materials, for understanding this particular style. They are:

- Steeply pitched roofs
- Gables, dutch gables and hips elements
- Eave details
- Timbering in the stucco field
- Decorative surrounds
- Stone and brick applications



## **ITALIANATE**



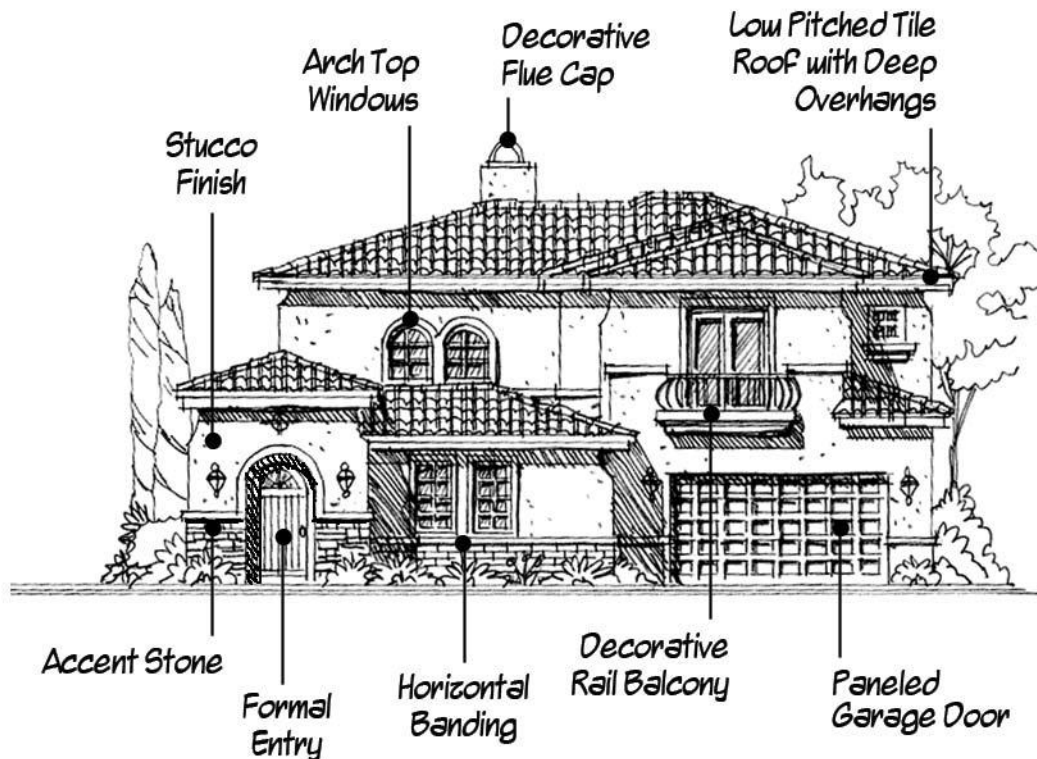
The Italianate style began as part of the picturesque movement, with its asymmetry, a shift away from a strict classical direction in art and architecture. As described by Andrew Jackson Downing in 1841, the irregularity in the masses of the edifice and the shape of the roof "rendered the sky outline of a building in this style extremely picturesque". Old World prototypes were refined, adapted and embellished, evolving into a classic revival period style.

Although the new period style generated less formality, traditional classical elements such as the symmetrical façade returned, while still using squared tower entry forms, arched windows, quoin corners and bracketed eaves persisted as the enduring traits of this style. When cast iron became a popular building material, it became a part of the Italianate vocabulary, embellishing homes with a variety of designs for porches, balconies, railings and fences.

### **Italianate Design Characteristics**

The design characteristics provide the essentials of massing, scale and proportion, and building materials for understanding the principal concepts for this style. They are:

- Low-pitched roofs with brackets under deep overhangs
- Elaboration and detail of the windows, cornices, porches and doorways
- Cornices at eave line
- Horizontal banding and quoins as predominant elements



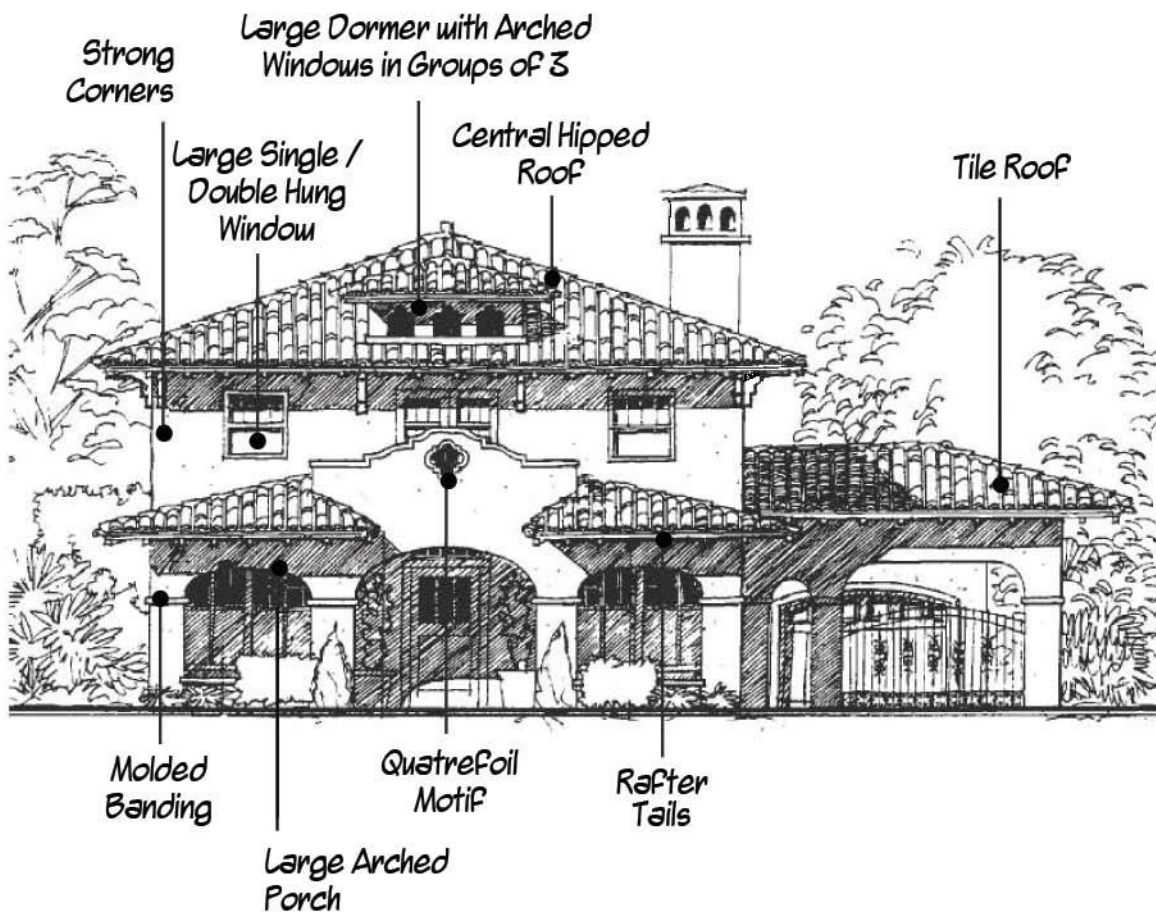
## SPANISH REVIVAL

Spanish Revival style is a culmination of Spanish styles brought to a sophisticated level of interpretation in the early 1900's. Borrowing elements of detailing from Moorish, Byzantine and Renaissance architecture in Spain, Spanish Revival includes massing with the use of ornate classical elements and details at entries, arcades, windows and balconies. Although the building mass remained simple, the style exemplified sophisticated fine classical detailing.

### Spanish Revival Design Characteristics

The design characteristics provide the essentials for massing, scale and proportion, building materials, and details for understanding the primary concepts for this style. They are:

- Upper story balconies and verandas with embellished trim
- Ornate detailing at entries, windows and balconies/verandas
- Stucco finish with painted detailing



## OLD SANTA BARBARA

Old Santa Barbara is an adaptation of Mission Revival enriched with additional details and elements. The style attained widespread popularity after the introduction of related, more sophisticated Spanish styles.

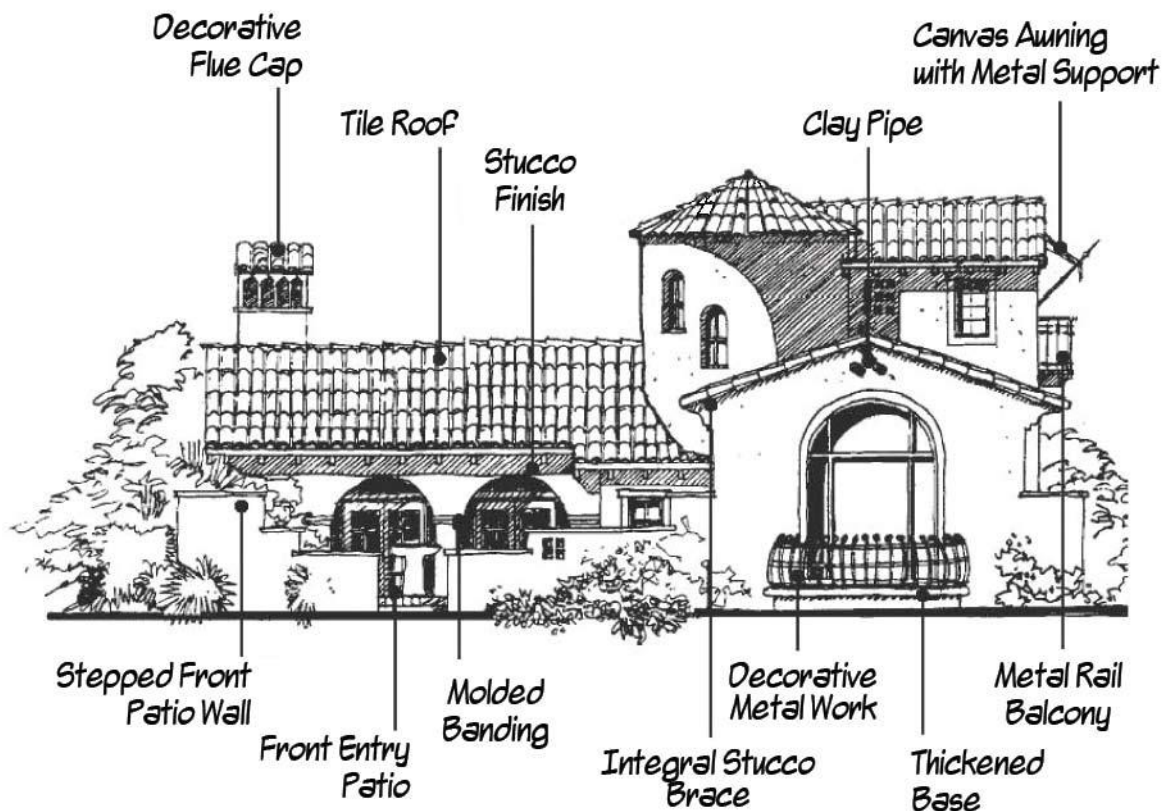
The simple courtyards of the Spanish Colonial heritage with hanging pots, a flowering garden and sprawling shade trees are typical foreground design elements. Further architectural distinction was established through the use of tile roofs, stucco walls, heavily textured wooden doors and highlighted ornamental ironwork.

Key features of this style reflect the Southern California locale. Buildings are often informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrast of materials and textures.

### Old Santa Barbara Design Characteristics

The design characteristics provide essentials for massing, scale and proportion, and building materials for understanding this particular style. They are:

- Exterior arches
- Round or square exterior columns
- Wrought iron accent grates
- Balcony railings
- Accent drain tiles
- Entry courtyard walls and gates



## **7.4.2 MIXED USE CENTER ARCHITECTURAL DESIGN GUIDELINES**

Portola Center Mixed Use Center supports neighborhood-serving commercial uses with multi-family residential units above. The Mixed Use Center is intended to function as a node of social activity and neighborhood-style commerce for the Project. The Portola Center Development Agreement permits between 10,000 and 40,000 square feet of commercial/retail uses on the ground floor with a maximum of 82 multi-family units over or attached to the commercial/retail uses within the Project's Mixed Use component.

The Mixed Use Center incorporates a residential element above the ground floor retail uses, the architectural treatment should be designed using an architecture style that is consistent throughout the site and relate to the Architectural Design section of this document. The street level of the Mixed Use Center holds the greatest potential for pedestrian use and walk-in neighborhood-serving commercial activity and, as such, the Center should foster a sense of community and provide a social gathering spot for the neighborhood. Pedestrians on sidewalks will also allow for a more focused attention to architectural and site design detail.

The Mixed Use Center in conjunction with the 5-acre Community Park will be iconic elements of the Project. Accordingly, the ultimate design of the Mixed Use Center should achieve the following design objectives:

### **SITE PLANNING:**

- Separate insets for café tables and seating areas from vehicle areas with a landscaping buffer, a low wall, or other physical barrier.
- Incorporate bicycle racks within convenient access to building entrances.
- Screen vehicle areas from public streets with the use of landscape elements.
- Screen large bin refuse or storage containers, and other areas meant to be deemphasized (e.g. commercial loading zones, trash enclosures, etc.).
- Avoid locating large bin refuse collection or storage areas between a street and the front of a building.
- Ensure that pedestrian scale refuse containers compliment the architectural style of the Mixed Use and multi-family buildings.
- Locate commercial loading zones to ensure safe and convenient loading and unloading and to minimize disruption of vehicle travel lanes and parking areas. Screen loading areas with landscaping and/or architectural elements to deemphasize the area, where feasible.
- Locate passenger loading areas to ensure safe and convenient loading and unloading near building entrances and to minimize disruption of vehicle travel lanes and parking areas.
- Seamlessly integrate pedestrian access with the Project's enhanced pedestrian pathway and with pedestrian crossings into the Public Park.
- Emphasize the pedestrian-oriented nature of the Center by incorporating enhanced sidewalks and pedestrian paths (e.g., paving texture, stamped concrete, or pavers), tree grates, insets for café tables, and a gathering place with benches/seating that create a more complete pedestrian experience.
- Utilize landscaping, street furniture, and designated pedestrian pathways in the design of parking lots and courtyards to promote pedestrian and bicycle movement and reduce the impersonal auto-oriented expansiveness of large spaces.

**BUILDING APPEARANCE:**

- Incorporate staggered and variable building facades and setbacks above the ground level uses to create multiple architectural elevations. Integrate down spouts into the façade of the structure.
- Architecturally enhance primary building entrances to create dimension and establish building orientation.
- Incorporate awnings and/or arcades, where feasible.
- Ensure that pedestrian and vehicle entrances are designed with adequate sight distance to ensure safe ingress and egress and to minimize pedestrian/vehicle conflicts or vehicle collisions.
- Mount mechanical and electrical equipment, utility connections, and antennas within the interior of a building whenever practical. When interior mounting is not practical, screen mechanical equipment from view whenever possible. If the mechanical equipment is ground mounted, screen the equipment with the use of walls, fences, or landscaping compatible with the building architecture.

## **7.5 SITE DEVELOPMENT STANDARDS**

In addition to the architectural design guidelines that apply to the various land uses in the Portola Center Project, the three major land uses—single family residential, multi-family residential, and mixed use—shall comply with site development standards that establish effective building envelopes and other site-specific development requirements to ensure that overall community design objectives and the architectural design guidelines are implemented.

### **7.5.1 SINGLE FAMILY RESIDENTIAL DEVELOPMENT STANDARDS**

Building placement and size on a single family lot in Portola Center is effectively controlled by the setbacks, lot coverage, and building height restrictions established for each of the residential land use types within Portola Center (see Table 2-1). Table 7-1: Portola Center Residential Development Standards below contains a list of these standards for the six residential lot sizes (Neighborhoods R1-R6). These standards apply to all single family residential buildings as well as accessory uses and structures constructed in the Portola Center Project.

The standards assume typical lotting concepts, are based on standard lot dimensions for the various neighborhoods (e.g., 50'x90'), and are not intended to constrain more creative solutions to building layouts for odd shaped lots (e.g., non-perpendicular lot lines, flag lots, open space easements, etc.). Dimensions are typical minimums but may vary slightly with irregularly shaped lots and site specific conditions, provided that the minimums specified herein are met. Where Table 7-1 is silent on an issue, an appropriate standard may be established provided that it is consistent with the design guidelines contained in this Area Plan.

#### ***Additional Standards for Single Family Development***

In addition to the Development Standards contained in Table 7-1 above, the following standards for single family residential neighborhoods shall also apply:

1. Skylights are permitted but they shall be designed as an integral part of the roof. Skylight glazing should be clear, solar bronze, or white. Reflective glazing is prohibited. Skylight framing material should be anodized and colored to match the roof. Exposed bare metal framing is prohibited.
2. Solar attic vent locations are permitted on the front elevation of dwelling units if the rear elevation renders the solar vent to a minimally effective state.
3. Solar panels are permitted on the front elevation of dwelling units if the rear elevation renders the solar panel to a minimally effective state.
4. Ensure that all roof flashing and sheet metal matches the roof color.
5. Ensure that all vent stacks and pipes match the adjacent roof color or wall material. Group vent stacks on the side or rear of roofs where possible and ensure that vent stacks do not extend above the roof ridgeline unless otherwise required by the California UBC.
6. Locate any television, radio, or citizen band (CB) antenna, satellite dish, or other similar electronic receiving or broadcasting device on the side or rear elevations of the building.

**TABLE 7-1: PORTOLA CENTER SINGLE FAMILY RESIDENTIAL DEVELOPMENT STANDARDS**

Single Family Residential Property Development Standards						
DEVELOPMENT STANDARD	SINGLE FAMILY RESIDENTIAL PLANNING UNITS					
	Conventional Single Family				Courtyards	
	R1	R2	R3	R4	R5	R6
<b>Lot Criteria:</b>						
Minimum Lot Area (square feet):	5000	5000	3800	3200	2700	2500
Maximum Lot Coverage (%):	Total site less required setbacks					
Minimum Lot Depth (feet):	95	95	85	80	60	45
Minimum Lot Width (feet):						
measured at setback line:	50	50	45	40	45	55
flag lot street frontage:	20	20	20	20	20	20
knuckle or cul-de-sac frontage:	20	20	20	20	20	20
at corner:	60	60	55	45	50	50
<b>Minimum Front Yard Setback (feet) <sup>(1)</sup>:</b>						
to direct street entry garage <sup>(2)</sup> :	5 or 18	5 or 18	5 or 18	5 or 18	5 or 18	5 or 18
to turn in entry garage:	6	6	6	6	5	5
to private court entry garage:	5 or 18	5 or 18	5 or 18	5 or 18	5 or 18	5
garage door to directly opposite garage door:	30	30	30	30	30	30
to first story from property line:	6	6	6	6	6	5
to first story from private court or motor court:	6	6	6	6	5	3
to porch from property line:	4	4	4	4	4	3
to porch from private court or motor court:	4	4	4	4	3	1
<b>Minimum Side Yard Setback (feet):</b>						
to adjacent residential lot <sup>(3)</sup> :	5	5	5	5	5	3.5
distance between primary buildings:	10	10	10	10	10	7
garage side to garage side:	10	10	10	10	10	6
aggregate total both side yards:	10	10	10	10	10	7
to property line (corner lot):	10	10	10	10	10	6
<b>Minimum Rear Yard Setback (feet):</b>						
to first story:	10	10	10	10	5	8
to second and third stories:	10	10	10	10	5	5
<b>Maximum Building Height:</b>						
main residence:	35	35	35	35	35	35
garage – single story:	18	18	18	18	18	18
garage – with residence above:	35	35	35	35	35	35
<b>Parking (per LFMC chapter 9.168) <sup>(2)</sup>:</b>						
total parking required within an enclosed garage:	2/du	2/du	2/du	2/du	2/du	2/du
guest parking required:	0.2/du	0.2/du	0.2/du	0.2/du	0.2/du	0.2/du

1. The distance as measured from the abutting edge of the residential street property line fronting the lot, or from the edge of the drive aisle pavement fronting the lot in the courtyards.
2. Lake Forest Municipal Code 9.168.040 (D-1): "Those dwelling units having less than a seventeen (17) foot setback from the property line shall provide one (1) additional space within two hundred (200) feet of the dwelling." Required guest parking can be provided on-street or within designated open parking areas.
3. May be reduced to zero for zero lot line concepts.

## **7.5.2 MULTI-FAMILY RESIDENTIAL DEVELOPMENT STANDARDS**

Building placement and site design for the Multifamily Neighborhood (R7) in Portola Center are governed by the setbacks, lot coverage, building height, and other development standards contained in Table 7-2 ("Portola Center Multi-Family Residential Development Standards"). These standards apply to all the multi-family buildings built within the Portola Center Project. Where Table 7-2 is silent on an issue, an appropriate standard may be established provided that it is consistent with the design guidelines contained in this Area Plan.

## **7.5.3 ACCESSORY USES & STRUCTURES DEVELOPMENT STANDARDS**

Accessory Uses and Structures associated with and subordinate to a permitted principal use on the same building site are permitted subject to development standards for the single family neighborhoods as outlined in this Area Plan.

## **7.5.4 MIXED USE CENTER DEVELOPMENT STANDARDS & PERMITTED USES**

The proposed multi-family residential units in the Mixed Use Center are located over or attached to commercial uses. 10,000 square feet of commercial/retail uses are permitted as ground floor uses on the Mixed Use site. In order to maintain the maximum flexibility, creativity, accommodation for changing lifestyles, economic conditions, consumer preferences, community desires and the ability to respond to the residential and commercial marketplaces for the Mixed Use and Multi-Family components of the Portola Center Project, the two uses may be combined as long as the number of Mixed Use residential does not exceed 82 units (per the Lake Forest General Plan Amendment 2008-02), uses comply with their underlying General Plan land use designations and zoning designations, the combined site plan has received the review and approval of the Planning Commission and the total Portola Center unit count does not exceed 930.

All site development within the Mixed-Use Center shall be subject to Site Plan approval. Building placement and site design for the Multifamily Neighborhood (R7) in Portola Center are governed by the setbacks, lot coverage, building height, and other development standards contained in Table 7-2 ("Portola Center Multi-Family Residential Development Standards"). These standards apply to all the multi-family buildings built within the Portola Center Project. Where Table 7-3 is silent on an issue, an appropriate standard may be established provided that it is consistent with the design guidelines contained in this Area Plan.

In addition to the Mixed Use Development Standards contained in this section, Table 7-4 contains a list of permitted "by right", conditionally permitted, and prohibited uses for the commercial retail space in the Mixed Use Center. A use not listed shall be subject to a use determination via by the Director of Development Services to determine substantial conformance with the purpose, intent and goals of this district and of this Area Plan. [the Director does not have a use determination process... it's a PC process] All retail sales, merchandise, equipment and the like must sold in-doors (within the interior commercial building space). The following symbols are used to denote the permissibility of various commercial uses in the Portola Center Mixed Use Center:

- "P" = Permitted "By-Right" Use
- "C" = Permitted Use subject to Conditional Use Permit (per section 9.184 of the LFMC)
- "X" = Use Not Permitted



**TABLE 7-2 PORTOLA CENTER MULTI-FAMILY RESIDENTIAL DEVELOPMENT STANDARDS**

DEVELOPMENT FEATURE	STANDARD
Building Site Area	Five thousand (5,000) square feet
Building Site Area per Unit	One thousand (1,000) square feet
Building Site Width	No Minimum
Building Height	45 feet maximum
Building Site Coverage	<ul style="list-style-type: none"> <li>• Sixty (60) percent maximum, not to include garages or carports</li> <li>• Seventy (70) percent maximum, not to include carports and if attached garages are constructed to serve the dwelling units.</li> </ul>
Building Setbacks	Twenty (20) feet minimum from any exterior property line, none from any interior property lines.
Distance between primary buildings	Front door to front door – twenty (20) feet minimum, all other distances - fifteen (15) feet minimum.
Distance between garage door to directly opposite garage door:	Thirty (30) feet minimum. Does not include garage doors that are offset from each other.
Patios	No attached or detached covered patio shall be located closer than zero (0) feet to a property line except the street-side property line of a corner lot, in which case a minimum distance of ten (10) feet shall be maintained.
Architectural Projections	Eaves, cornices, chimneys, outside staircases, balconies and other similar architectural features may project four (4) feet into any required front, side, or rear setback.
Off-Street Parking:	
Residential	per Section 9.168 of the LFMC
Senior Residential	1.0 space/du (includes min of 0.3 guest spaces/unit)
Disabled Parking Spaces	per California Building Code
Parking Garages	Parking Garages, Carports and Structured Parking are permitted
Garage and carport setbacks	The point of vehicular entry to a garage or carport shall be a distance of five (5) feet or less, or seventeen (18) feet or more from back of sidewalk, or if there is no sidewalk, from back of curb. Garages set back five (5) feet or less to the point of vehicular entry shall be equipped with automatic garage door openers.
Open Space	A minimum of five percent (5%) of the net area of the MF project is to be reserved as convenient, accessible and Useable Open Space (as defined in the Portola Hills PC section XIX).
Lighting	Exterior and interior lighting shall be designed and located to be directional to confine direct lighting to the premises.
Trash and Storage Area	All storage of cartons, containers and trash shall be enclosed by a building or by a wall not less than six feet in height. Trash and storage areas within 50 feet of residential units must be roofed or covered by a trellis.
Commercial Uses <sup>(1)</sup>	Per this Area Plan MU Development Standards
Signage	per Section 9.164 of the LFMC
Landscaping	per Section 9.144.050 LFMC
Mixture of Uses	Non Residential uses are permitted on the ground floor only. Home offices are exempt.
Waste Management	Compliance with Title 16 of the LFMC

**TABLE 7-3 PORTOLA CENTER MIXED USE CENTER DEVELOPMENT STANDARDS**

<b>DEVELOPMENT FEATURE</b>	<b>STANDARD</b>
Building Site Area	No minimum
Building Height	45 feet maximum
Building Setbacks from:	
MF Neighborhood R7 Site	Twenty (20) feet minimum <sup>(1)</sup>
Glenn Ranch Road	Fifteen (15) feet minimum
Residential Street	Ten (10) feet minimum
Off-Street Parking:	
Commercial	per Section 9.168 of the LFMC
Residential	per Section 9.168 of the LFMC
Senior Residential	1.0 space/du (includes min of 0.3 guest spaces/unit)
Disabled Parking Spaces	per Section 9.168 of the LFMC
Parking Garages	Parking garages and parking structures are permitted.
Lighting	Exterior and interior lighting shall be designed and located to be directional to confine direct lighting to the premises.
Commercial Loading	All loading operations shall be performed on the site during the hours of 7:00 a.m. and 10:00 p.m., and loading areas shall be screened by landscaping and/or an architectural feature.
Trash and Storage Area	All storage of cartons, containers and trash shall be enclosed by a building or by a wall not less than six feet in height. Trash and storage areas within 50 feet of residential units must be roofed or covered by a trellis.
Enclosed Uses	All commercial uses and their related products shall be contained entirely within a completely enclosed structure, except parking and loading areas, and except for outdoor uses expressly permitted by an approved site development plan or use permit.
Multi-family Residential	per Section 9.180.070 LFMC
Signage	per Section 9.164 of the LFMC
Landscaping	per Section 9.144.050 LFMC
Mixture of Uses	Non Residential uses are permitted on the ground floor only unless there is not a residential component on the upper floor. Residential uses are permitted only on upper floors. Residential and non-residential uses are not permitted on the same floor, home offices are exempt.
Waste Management	Compliance with Title 16 of the LFMC
<sup>(1)</sup> Zero (0) if the Mixed Use and Multi-Family Neighborhoods are combined.	

### ***Additional Standards for Mixed Use Development***

In addition to the Development Standards contained in Table 7-3 above, the following standards for the Mixed Use Center shall also apply:

1. A solid fence shall be used to screen the Multi-family residential planning area along the planning area boundary, having a total height of six (6) feet as measured from the finished pad elevation of the use with the highest elevation. Solid fencing shall be constructed of concrete, stone, brick or a similar type of solid masonry material a minimum of six (6) inches thick, or constructed of wood or other materials with a minimum thickness of four (4) inches forming a solid screen. *This standard does not apply in situations where the multi-family neighborhood is combined with the Mixed Use Center into a single Site Plan or Planning Unit.*
2. Parking lots shall have a minimum setback of five (5) feet from the back of sidewalks along the project Entry Street and the adjacent residential street. This setback shall be landscaped with compact evergreen plant materials or a berm/plant material combination and used as a parking lot screen with a combined height of not less than thirty-six (36) inches and shall be maintained to not exceed forty-two (42) inches.
3. Notwithstanding the requirements listed above, where the finished elevation of the property at the boundary line, or within five (5) feet inside the boundary line, is higher or lower than the abutting property elevation, such change in elevation may be used in lieu of, or in combination with additional screening to satisfy the screening requirements of this section.
4. Landscaping areas equal to at least five percent (5%) of the net usable area of the parcel are required, and a minimum of forty percent (40%) of such landscaping shall be located in the area devoted to parking.
5. Any landscaped area shall be separated from an adjacent vehicular area by a curb at least four (4) inches higher than the adjacent vehicular area or shall in some manner be protected from vehicular damage.

**TABLE 7-4: MIXED USE CENTER – PERMITTED, CONDITIONALLY PERMITTED, & PROHIBIT USES**

<b>Administrative &amp; Professional Services &amp; General Retail Permitted by Right:</b>	
Business & Professional Office	P
Financial Institution or Financial Services Office	P
General Retail Store or Business (unless conditionally permitted or prohibited)	P
Medical, Dental and/or Health Office	P
Real Estate Sales Office	P
<b>Principal Uses Permitted by Right:</b>	
Antique Store	P
Art, Music and Photographic Studio and/or Supply Store	P
Bakery - Retail	P
Barber Shop and Beauty Salon	P
Non-Motorized Bicycle Repair, Rental, & Sales Store	P
Blueprint/Reprographics/Photocopy/Printing Services	P
Books Store	P
Candy Store and Confectioner	P
Catering Services	P
Congregate care facilities serving fewer than twenty persons	P
Dry Cleaners	P
Clothing, Apparel Store	P
Day Nursery, Daycare School or Nursery School (for profit or non-profit)	P
Electronics Store, including sales and repair	P
Fitness Center and/or Health Spa	P
Florist Shop	P
Food/Neighborhood Market	P
Furniture Store	P
Hardware Store	P
Hobby Store	P
Janitorial Services/Supplies	P
Jewelry Store	P
Instructional Studios	P
Library and Museums	P
Laundrymat	P
Mail, Postage Services	P
Office Supplies Store	P
Pharmacy	P
Restaurant, café, coffee shop, delicatessen, donuts, ice cream, etc.	P
Residential – Mixed Use (over commercial or on same site as commercial)	P
Residential – Multi-Family	P
Residential - Senior Housing Attached	P
Snack Bar or Refreshment Stand Contained Within a Building	P
Stationary, cards store, shop or business	P
Swimming Pool Supply Store	P
Temporary Uses as prescribed in Temporary Use Section	P
Travel Agency	P

**TABLE 7-4: MIXED USE CENTER – PERMITTED, CONDITIONALLY PERMITTED, AND PROHIBIT USES  
(CONTINUED....)**

<b>Principal Uses Conditionally Permitted:</b>	
Animal Clinics/Veterinary office (subject to LFMC Section 9.146)	C
Appliance store, including repair	C
Athletic and health club	C
Automobile parking lots and structures (subject to LFMC Section 9.168)	C
Churches, temples and other places of worship	C
Cinemas and theaters	C
Civic and Government Uses	C
Commercial recreation facilities not otherwise listed	C
Congregate care facilities serving twenty or more persons	C
Educational institution	C
Motorcycle sales and services, including motorized bicycles	C
Nursery or garden supply store in enclosed area	C
Pet store, supplies	C
Pet grooming services	C
Residential – Single Family Attached or Detached	C
Restaurants – Fast Food (with no drive-in or drive-through)	C
Restaurant with entertainment and serving alcoholic beverages	C
Sign painting shop	C
Wireless communication facilities (Minor) (subject to LFMC Section 9.162)	C
<b>Home Occupations:</b>	
Home occupations (subject to the Home Occupations Section of the LFMC)	P
<b>Temporary Uses:</b>	
Commercial Coaches (subject to section 9.144 of the LFMC)	P
Christmas tree sales (subject to section 9.144 of the LFMC)	P
Halloween pumpkin sales (subject to section 9.144 of the LFMC)	P

"P" = Permitted "By-Right"

"C" = Permitted Subject to Conditional Use Permit (per LFMC Sec. 9.184)

"X" = Use Not Permitted

**TABLE 7-4: MIXED USE CENTER – PERMITTED, CONDITIONALLY PERMITTED, AND PROHIBIT USES  
(CONTINUED....)**

<b>Prohibited Uses:</b>	
Adult entertainment businesses, stores	X
Arcade and electronic games	X
Automobile body and paint shops	X
Automobile, motorcycle and/or truck sales, parts, service, rentals, car wash	X
Automobile/truck/motorcycle wrecking, junk and salvage yards	X
Cabaret	X
Cocktail lounge, bar or tavern, including, related entertainment	X
Contractor's storage and equipment yards, work fabricating areas	X
Equipment rental	X
Fast food restaurants with drive-in or drive-through	X
Feed and tack store (no outside storage) (subject to LFMC Section 9.416)	X
Gasoline service station	X
General Industrial uses	X
Gun & Ammunition Sales	X
Helispots, heliports	X
Hospitals	X
Hotel or motel	X
Kiosk, including photo sales, located in parking lot	X
Kennels	X
Liquor store	X
Medical Marijuana Services / Establishment / Production	X
Medical Marijuana paraphernalia / marijuana paraphernalia / head shops	X
Mini Storage facilities	X
Mortuary and crematories	X
Parking facilities (commercial)	X
Pawn Shops	X
Recycling drop-off bins	X
Tire sales and service	X
Welding Shops and metal plating	X
Wireless Communication facility (Major) per section 9.162 LFMC	X

"P" = Permitted "By-Right"

"C" = Permitted Subject to Conditional Use Permit (per LFMC Sec. 9.184)

"X" = Use Not Permitted

## 7.6. COMMUNITY WALLS & FENCES DESIGN GUIDELINES

Community walls and fencing must be aesthetically pleasing and provide continuity in design to unify the various architectural styles as a single community theme. Walls and fences located throughout Portola Center will be consistent with the community design theme while providing screening, sound attenuation, security, and containment. Please see Exhibits 7-8 and 7-9 ("Portola Center North & South Walls and Fences Plan") below for the layout of the different wall types in the Project and Exhibit 7-10 ("Portola Center Community Walls and Fences") for conceptual elevations of the various community wall and fences. Following is a description of the various theme walls and fences for Portola Center:

**Glenn Ranch Road Theme Wall:** The Glenn Ranch Road Theme Wall is a multi-piece wall system simulating a stacked stone appearance. This wall will be used as a five foot high retention wall along the northern side of the Aliso Serrano Regional Riding and Hiking Trail (Equestrian Trail) within the Glenn Ranch Road right-of-way.

**Community Theme Solid Wall:** The Community Theme Solid Wall is a six-foot high wall made of a lightly colored split-faced concrete block and can be used for vegetation anchoring. These walls may be higher than six feet if required for privacy, sound attenuation or sloped condition with a Site Development Permit approval. The pilasters are split faced concrete block placed at the beginning and the end of the community wall, and spaced as determined by the detailed neighborhood landscape plans, but no further than one hundred thirty feet apart and having a beveled concrete cap.

**Side Yard Fencing:** Side Yard Fencing is a six-foot-high wall that is located in the rear portion of the side yard section of a single family lot, not adjacent to a public street and used to define the individual lot boundaries. These walls may be higher than six feet if required for privacy or sloped condition with approval of a Site Development Permit. Side yard fencing can be made of standard lightly colored concrete block, stained wood fencing, or plastic or similar material pre-manufactured fencing. Side yard walls abutting and visual from a residential street on a corner lot shall be considered a Community Theme Wall.

**Open Theme View Wall:** The Open Theme View Wall is a six-foot high wall consisting of a lightly colored split-faced concrete block beveled concrete capped pilaster at each intersecting property line. Between the pilasters the wall consists of six foot high open wrought iron fencing. Optionally, a low two-foot high split-faced block wall runs horizontally between the pilasters with wrought iron fencing on top to a height of six feet.

**Open View Sound Wall:** The Open View Theme Sound Wall is a six-foot high wall consisting of a lightly colored split-faced concrete block beveled concrete capped pilaster at each intersecting property line. The wall between the pilasters is filled in to a height of six feet with high impact resistant clear panels. Optionally, a low two-foot high split-faced block wall runs horizontally between the pilasters with impact resistant clear panels on top to a height of six feet.

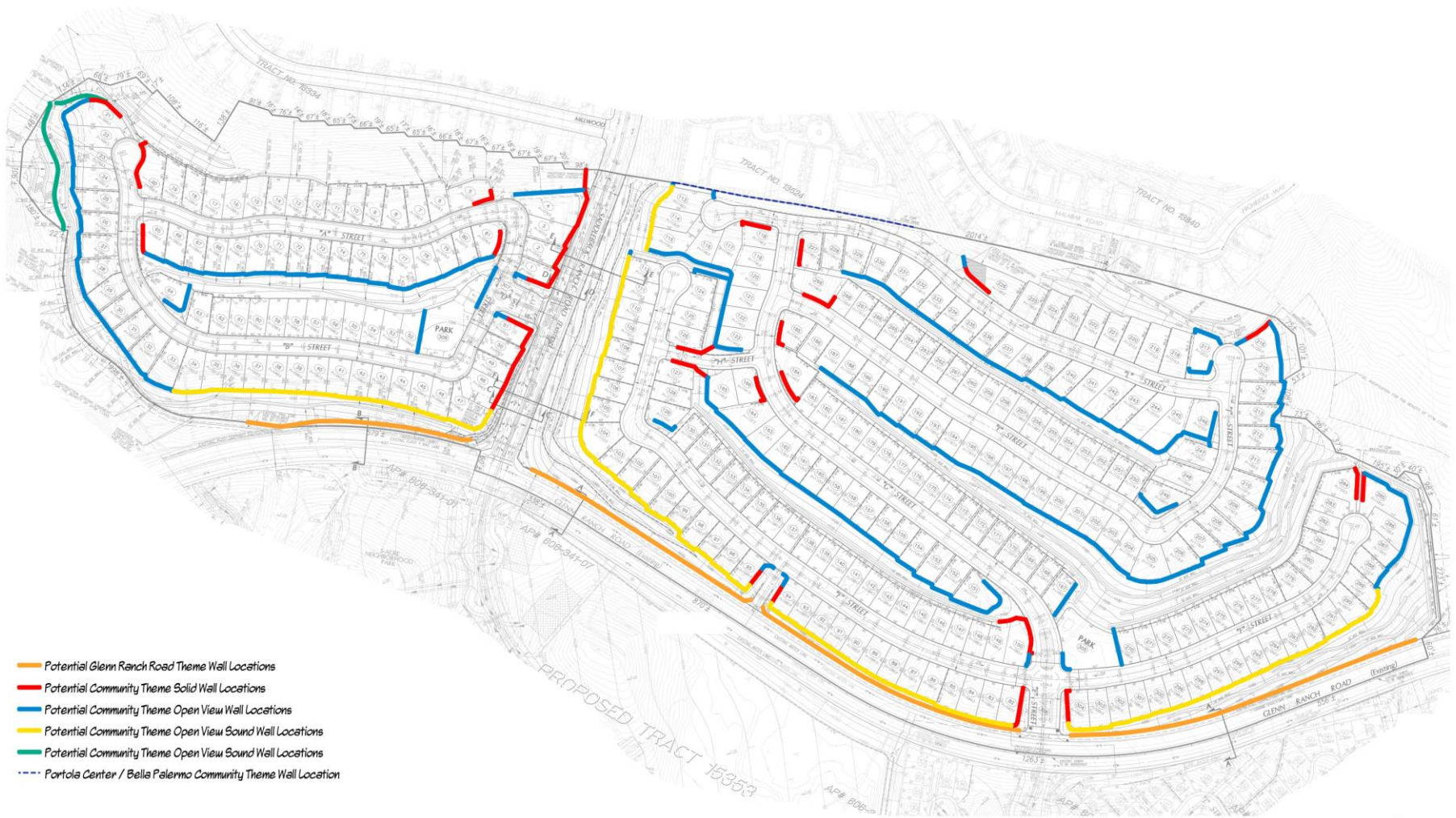
**Rural Style Equestrian Fence:** The Rural Theme Fence is a four-foot-high fence that consists of three wooden, composite, plastic, or similar material pre-manufactured horizontal rails, attached to wood, composite, plastic or similar material pre-manufactured vertical four-inch by four-inch posts, spaced every eight or ten feet. This fence is reminiscent of the early California equestrian ranch fences and will be used along the trail to the north of Glenn Ranch Road. This fence will be added between the existing sidewalk and the existing Aliso Serrano Regional Riding and Hiking Trail which is the Equestrian Trail within the Glenn Ranch Road right-of-way.

**Post & Rail Style Trail Fence:** The Post & Rail Trail Fence is a 36-inch-high open rail fire resistant wood fence that consists of three wooden horizontal rails, attached to wooden vertical four-inch by four-inch posts, spaced every eight or ten feet. This fence will be added along the Perimeter Trail where the trail traverses the Project's ridgeline perimeter areas above the MSE retaining walls on the southwest and southeast portions of the Project site.

In addition to the various theme walls, the Project includes the use of conventional concrete block retaining walls. Concrete block retaining walls (other than the MSE retaining walls) shall be made of a lightly colored split-faced concrete block on the outward facing side. Concrete block retaining walls that are located in the back yard section of a single family lot or within the multi-family Neighborhoods that are not adjacent to a public street, or the neighborhood park may be made of a lightly colored concrete block. Concrete block retaining walls that are located within the Neighborhood Park or Pedestrian Parks shall be considered Community Theme Solid Walls. Walls and fences in the single family and multi-family Neighborhoods which are located within the front yard section of the lot, or adjacent to the public street, shall be designed and placed according to the following guidelines:

- Walls should be made of a surface material that is consistent with any adjoining wall material compatible with the design of the neighborhood area.
- Walls should be broken by visual relief through the use of a curvilinear design or by periodically constructing pilasters. Property Line walls are exempt.
- Landscaping, such as trees, shrubs or evergreen vines, should be used to soften the appearance of the wall whenever possible.
- Combined solid fencing or walls, walks and open fencing may be used to create interest. Masonry walls are required only where necessary for noise attenuation or soil retention.
- Walls which serve as a subdivision exterior boundary should be six feet in height from the highest finished grade, but may be higher if required for privacy or sloped condition with Site Development Permit approval.
- Walls used as rear or side yard walls should be constructed up to six feet in height, but may be higher if required for privacy or sloped condition with a Site Development Permit approval.
- Sound wall fencing, (solid concrete block or open view walls with impact resistant clear type panel to maintain views) where required, should be used to mitigate adverse noise impacts on residential units.



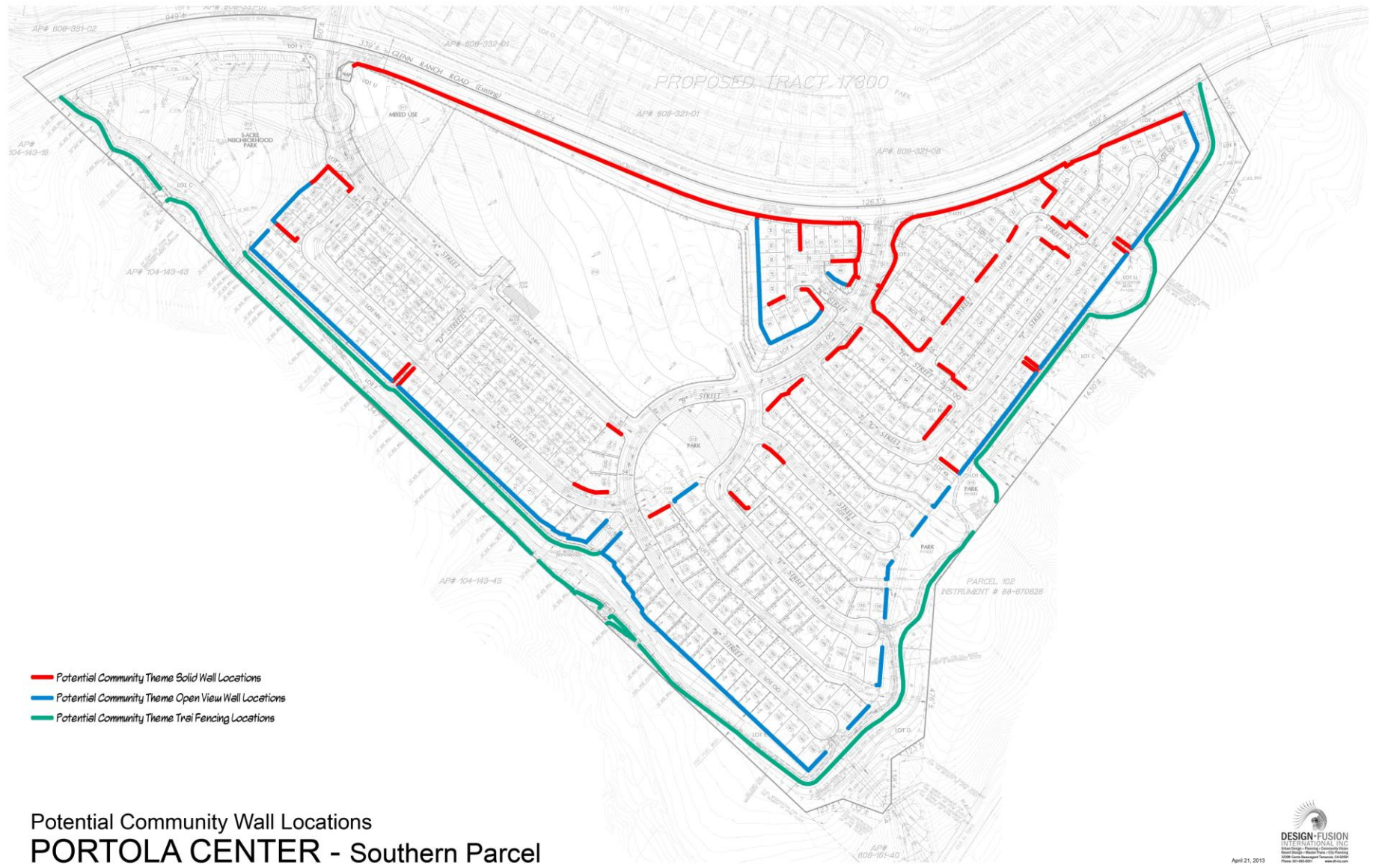


- Potential Glenn Ranch Road Theme Wall Locations
- Potential Community Theme Solid Wall Locations
- Potential Community Theme Open View Wall Locations
- Potential Community Theme Open View Sound Wall Locations
- Potential Community Theme Open View Sound Wall Locations
- - - Portola Center / Bella Palermo Community Theme Wall Location

Potential Community Wall Locations  
**PORTOLA CENTER - Northern Parcels**

DESIGN-FUSION  
 INTERNATIONAL, INC.  
 5140 Design - Planning - Community Policy  
 Street Design - Planning - Urban Planning  
 Project: 001-000-0000  
 May 22, 2013

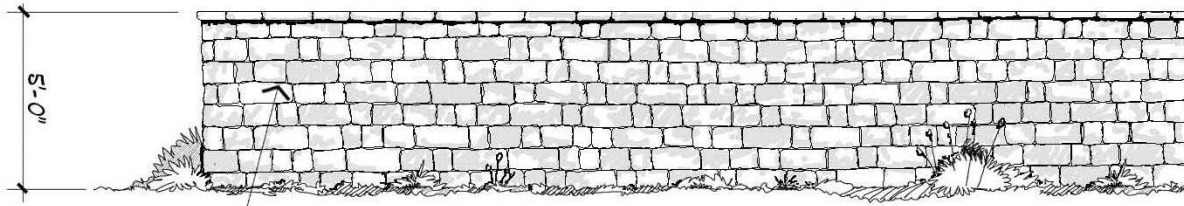
**Exhibit 7-10**  
**Portola North Community Walls and Fences Plan**



Potential Community Wall Locations  
**PORTOLA CENTER - Southern Parcel**

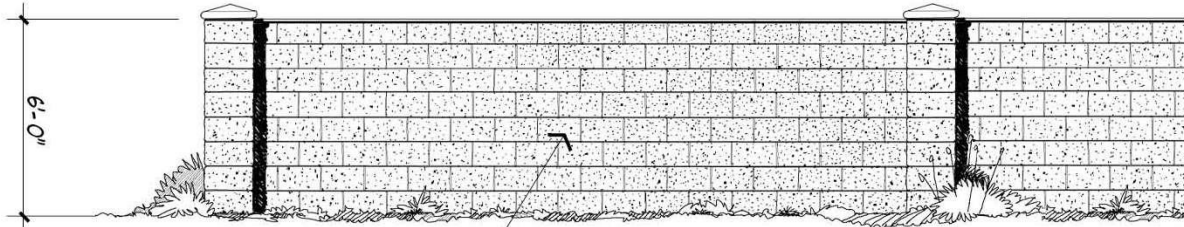
DESIGN-FUSION  
 INTERNATIONAL, INC.  
 Urban Design • Planning • Community Policy  
 Architectural Design • Historic Preservation • Cultural Planning  
 Project: Portola Center, San Jose, CA  
 April 21, 2013

**Exhibit 7-11**  
**Portola South Community Walls and Fences Plan**



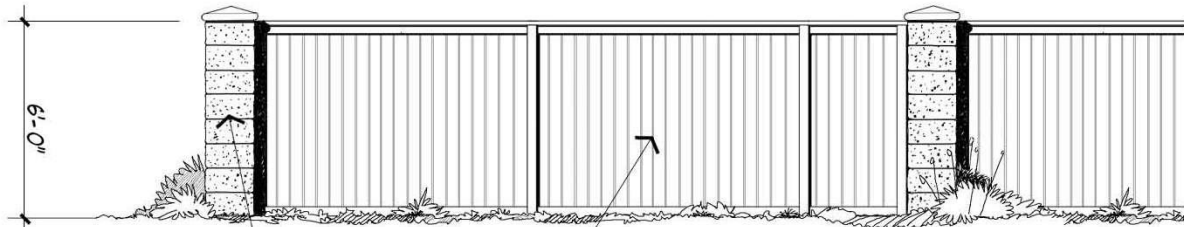
● Manufactured Multi-Piece Wall System

*Glenn Ranch Road Theme Wall*



● Split Face Concrete Block

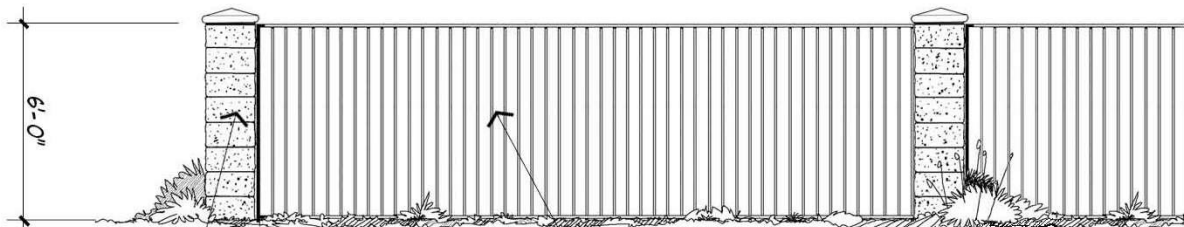
*Community Theme Solid Wall*



● Split Face Concrete Block Columns

● Stained Wood Fencing

*Side Yard Fencing*

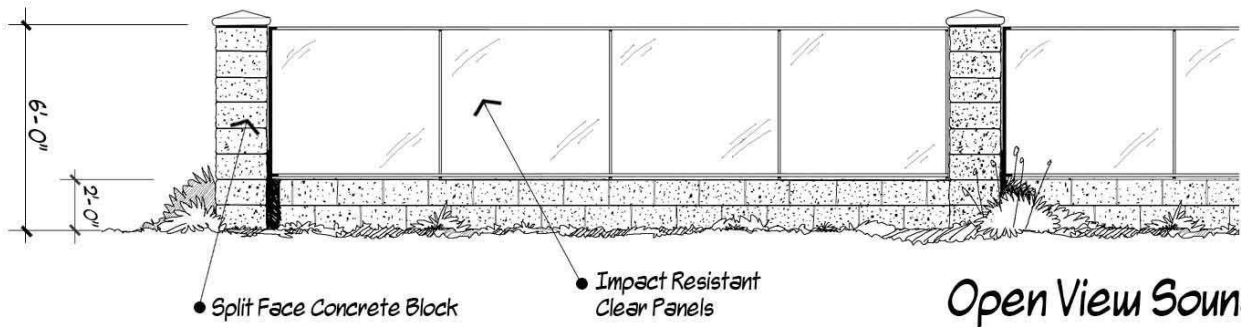


● Split Face Concrete Block

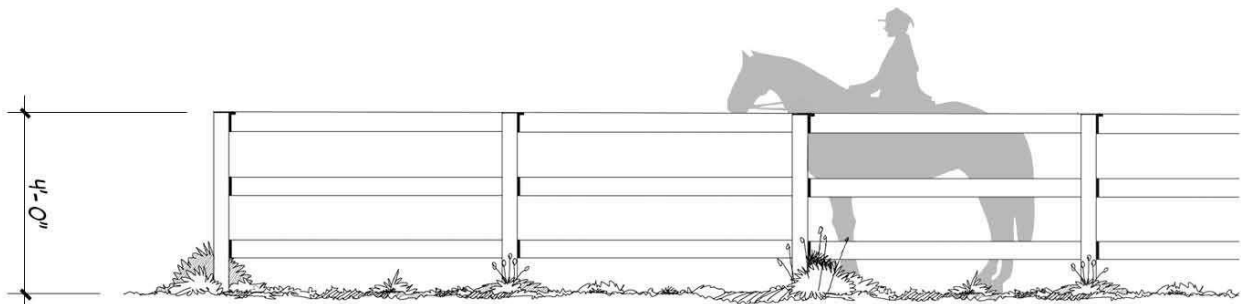
● Wrought Iron

*Open Theme View Wall*

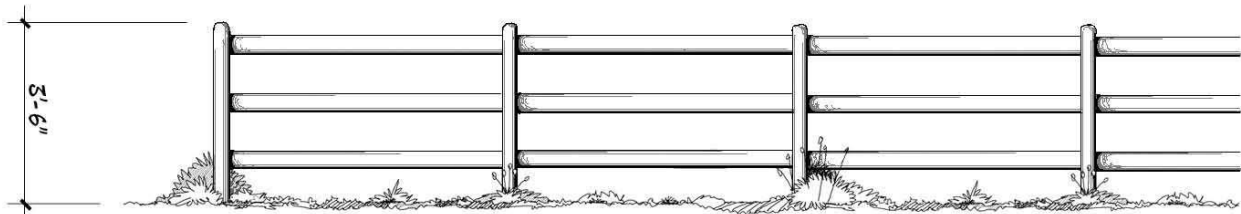
**Exhibit 7-12  
Portola Center Walls and Fences**



*Open View Sound Wall*



*Rural Style Equestrian Fence*



*Post and Rail Style Trail Fence*

**Exhibit 7-10 (Continued...)  
Portola Center Walls and Fences**

## **7.7 PARKING AREA DESIGN GUIDELINES**

The following guidelines apply to the Mixed-Use Center, Multi-family Residential Neighborhood, and 5-acre Community Park parking lot areas:

- Off-street parking facilities shall be designed so that vehicles need not enter a street to move from one location to any other location within the same parking facility.
- Off-street parking facilities shall be constructed in such a manner so that any vehicle on the property will be able to maneuver and exit from the property by traveling in a forward direction.
- Curbs or raised planters shall be provided in all parking lot areas abutting a sidewalk, street, building or alley so that car bumpers do not overhang the pedestrian travel way or strike the building. Instead of using pre-cast concrete wheel stops, extending the planter may be used.
- Parking areas shall be designed so that pedestrians walk parallel to moving cars. Designs should minimize the need for pedestrian to cross parking aisles.
- The parking areas shall be linked to the street sidewalk system and buildings. This can be accomplished by using design features such as walkways with enhanced paving, trellis structures, and/or landscaping treatments.
- Service structures for commercial docking shall be located to the rear of buildings whenever possible.
- Pedestrian and vehicular entrances shall be clearly identified to minimize pedestrian/vehicle conflict. Special paving at parking entries shall be used to soften the parking streetscape.
- When parking is located adjacent to a public street, a combination of landscaped berms and/or planters shall be used to screen views of parked cars.
- Plant materials used as screening shall be of a compact, evergreen type with a minimum screening height of thirty six (36) inches and a minimum width of two (2) feet at maturity.

## **7.8 STREET FURNITURE DESIGN GUIDELINES**

For purposes of this Area Plan, two categories of street furniture are defined: community design-oriented street furniture such as street lights, tables, benches, and trash receptacles that impart a functional purpose but which are also meant to fit with the overall aesthetic feel and design of the community; and utility-based street furniture which is meant to be primarily functional and typical lacks aesthetic appeal. Two principal design considerations should be evaluated in regard to these two categories of street furniture. The first is their aesthetic appeal or their contribution to the overall design objectives of the community. The second is their proximity and/or relationship to the public space, such as sidewalk, paseos, and plazas. The two categories of street furniture and the design considerations that apply in each case are further detailed below.

1. Community design-oriented street furniture includes street lighting or lamps, bollards, café tables, benches, seating, public trash/recycling receptacles, fountains, sculptures, public art, bicycle racks or lockers, railings and safety fencing, etc. Street furniture in this category is generally designed with an emphasis on aesthetic appeal and public use. Because it is located for easy public access, the design of street furniture in this category should be of a high quality design appropriate for the overall residential setting of the Project and should complement the aesthetic qualities created by the Project's other design elements. These pieces of street furniture must also be accessible, functional, and must not clutter or interfere with the use of the public space.
2. Utility-based street furniture includes traffic signals, fire hydrants, mail boxes, utility company boxes, sprinkler and traffic signal control boxes, above-ground electric, gas, and water utility infrastructure, etc. In the majority of cases, this group of street furniture is designed for functionality, ease of maintenance, and service longevity. This group of street furniture can be intrusive because of its size or placement requirements, which may detract from the aesthetic quality from its surroundings. The often conflicting requirements of the project designer and service providers necessitate close coordination and cooperation with regard to the installation of these types of street furniture. Techniques including landscape screening, construction of a facade, use of neutral or complimentary colors, and under-grounding.

## **7.9 COMMUNITY SIGNAGE & ADVERTISING GUIDELINES**

Signage within Portola Center shall be governed by the regulations of the City of Lake Forest Sign Code. Signage within Portola Center should also exhibit compatibility with the architectural theme and other community design features of its surroundings. Retail signage should be oriented to the pedestrian. Awnings and window signs are encouraged to provide a variety of visuals within the Mixed Use Center. Signage and graphics should functionally communicate information while fitting aesthetically into the Project's architectural theme. The signage graphics system should be a simple and coordinated signage system, and contribute to the overall design unity and identity of the Project. The retail and directional signage of the Mixed Use Center should complement the other streetscape elements while directing the public to their destinations within the Center.

Building, business and retail identification signs should state the name and address number of the building/business. Each retail use/business is allowed to display one sign on the building face, except in the case where a business is located at the corner of the building. In that case, one sign is permitted on each of the two (2) sides of the building face fronting the street. Signs should offer design integrity and individuality, but may not impede on the overall quality of the Mixed Use Center. Signs within the adjoining Neighborhood Park should follow a similar style as the Mixed Use Center.

In addition to the design guidelines above, the following restrictions apply to signage and advertising in Portola Center:

1. No signage or other forms of advertising shall be permitted on street furniture, in residential neighborhoods, or in the public space with the exception of the Mixed Use Center subject to the guidelines above, permanent community and neighborhood monuments, and temporary signs in compliance with the City of Lake Forest Sign Ordinance.
2. No signage shall be allowed to be painted directly on to the building face.
3. Retail signs shall not be located above the ground floor building eave or ground floor plate line.

4. Neon, bright lighting and flashing signs are prohibited.
5. The sizes of the building/ business identification signage should not exceed twelve inches (12") in letter or number height.
6. No signage shall exceed twenty (20) square feet in area. Logos are preferred over lettering in identifying buildings and/or businesses.
7. All mixed use building, retail, and or business identification signage must be approved by the City of Lake Forest's Development Services Department Planning Division.

# PORTOLA CENTER AREA PLAN

## CHAPTER EIGHT

### **LANDSCAPE DESIGN GUIDELINES**

- 8.1 LANDSCAPE DESIGN PHILOSOPHY**
- 8.2 LANDSCAPE THEME AND FRAMEWORK**
- 8.3 LANDSCAPE CONCEPT PLAN AND PLANT PALETTES**
- 8.4 COMMUNITY OPEN SPACE PLAN**



## **8.1 LANDSCAPE DESIGN PHILOSOPHY**

The purpose of the Portola Center Landscape Design Guidelines and Concept Plan is to enhance and unify the Portola Center Community through a cohesive landscape plan.

The Portola Center Landscape Concept Plan establishes the major landscape theme for the Portola Center Community at a conceptual level, addressing the Saddleback Ranch Road and Glenn Ranch Road corridors and intersection, streets within the Planning Areas, Project entries, open space areas slopes, neighborhood parks, and the individual neighborhoods. The proposed landscape buffers between the Project's neighborhoods and surrounding uses, the creation of landscaped medians within the existing un-landscaped Glenn Ranch Road and Saddleback Ranch Road Right-of-ways, the enhanced landscape and circulation designs for the primary and secondary Project entry-points, and the landscape slopes, green spaces, distributed parks, and the landscaped parkways internal and throughout the Project collectively reinforce the Project's community design theme.

The Landscape Concept Plan serves as the landscape design framework for the Community from which more detailed precise landscape plans will follow. The purpose of the Landscape Concept Plan is to: 1) establish thematic color schemes to develop the Project identity; 2) establish a hierarchy of landscaping, from the Primary Community Entries down through the internal residential streets; 3) thematically tie the individual major elements of the Project's land use framework together; 4) visually emphasize the key project amenities like parks, park and trail amenities, pedestrian pathways, project entries, primary corridors, and other activity areas; and 5) blend the Project's exterior landscape areas with the Project's residential neighborhoods and the residential neighborhoods with the surrounding natural open space using transitional landscapes. Accordingly, the Portola Center Landscape Concept should incorporate the following design objectives:

- Implement a design approach that blends plant and tree species to establish a sense of permanence in the community with flowering annuals and perennials with seasonal characteristics.
- Utilize trees as a dominant thematic element used to create a logical sense of order, continuity, and contrast throughout the community.
- Utilize, where feasible and consistent with water-efficient landscape requirements, low-water use plant materials appropriate for the site's climactic conditions and water efficient grasses to reduce the high water use turf in areas that are not used for active recreation.
- Utilize trees that provide filtered shade while maintaining a semitransparent view of the architectural features.
- Create a series of horizontal landscape planes through the use of canopy trees, shrub forms, and accent colors to reflect the architectural forms.
- Utilize landscape form and composition to direct and guide residents and visitors to residential neighborhoods and activity areas, to create focal points, and to emphasize view corridors for travelers as they move through the community.
- Incorporate hardscape features, such as decorative walls, signs, and monuments into landscape areas.
- Utilize Vertical elements, such as narrow trees and decorative fencing and lighting, to contrast long architectural planes.
- Create a community that is in visual harmony with the surrounding natural environment, provides shade and natural cooling benefits, and includes the use of shrubs and ground covers to create landscape layers
- Utilize color variations from plant foliage, bark and flowers that create a friendly, warm and visually exciting landscape environment.
- Utilize landscaping to soften the visual effect of retaining walls, community walls, and other features of the built environment that are visually sensitive such as trash enclosures and parking areas.

## **8.2 LANDSCAPE THEME AND FRAMEWORK**

The Landscape theme for Portola Center is a unique blend of California native & naturalized plant materials on the perimeter & main thoroughfares, with a Mediterranean influence within the project's interior. The goal for the perimeter slopes is to provide a subtle transition between the adjacent hillsides and the projects interior slopes by utilizing native Coast Live Oaks, Catalina Cherry, Mexican Elderberry, Toyon, Lemonade Berry, Rock Rose and many other species. Additional vibrant and water efficient material accentuate entries and other key areas along the main thoroughfares and the perimeter trail system. The framework for the Portola Center Landscape Plan is structured around four major areas of landscape design which are further subdivided into 10 individualized landscape focus areas, each with overlapping but distinct landscape palettes (Exhibit 8-1). The four major design areas of the landscape plan framework are the following:

1. Glenn Ranch Road/Saddleback Ranch Road Intersection & Community Entries
2. Glenn Ranch Road and Saddleback Ranch Road View Corridors
3. Internal Project Areas (Internal Streets, Neighborhoods, Interior Slopes and Parks)
4. Perimeter Areas & Fuel Modification Zones

The landscape design approach is intended to create transitions between the four major areas identified above. Exhibit 8-1 above shows the four major design elements of the Project's Landscape Plan. Following is a more detailed description of each of the four elements. The various Landscape Plant Palettes for these areas can be found in Section 8.3.

### **8.2.1 COMMUNITY ENTRIES**

Two arterials bisect the Project site into three different planning areas, Glenn Ranch Road and Saddleback Ranch Road. These two streets form an intersection that severs as the entry point into the existing Portola Hills Community and as the Primary Project Entry into the Portola South Planning Area. As the focal point of the Project and the entryway into the two communities, the intersection should serve as the pinnacle of the Project's landscape hierarchy with the most order, complexity, variety, and ornateness of any of the Project's individualized landscape areas. It should serve as the culmination of the Project's landscape and architectural themes from which the rest of the Project's design elements and transportation and land uses logically flow.

### **8.2.2 GLENN RANCH ROAD & SADDLEBACK RANCH ROAD VIEW CORRIDORS**

Glenn Ranch Road and Saddleback Ranch serve as major corridors for both Portola Hills and Portola Center. These corridors will include median, parkway, and slope landscape areas. The landscape design for these corridors should radiate out from their intersection and the Project's pinnacle with an overlapping but less complex transitional landscape palette. The Project's three secondary entries—entry into the Northwest, Northeast, and the east entry into the South Planning Areas—should ramp up to a more complex and defining landscape palette that blends with the palette of the arterial corridors as well as incorporates neighborhood entry monumentation and a higher level of plant palette complexity, ornateness, and order.

### **8.2.3 INTERNALSTREETS, PROJECT NEIGHBORHOODS, INTERIOR SLOPES, & AMENITIES**

The internal streets and parkways, neighborhoods, interior slopes, and amenities like parks, pedestrian pathways, activity centers, and trails should maintain a consistent landscape theme throughout with the streets, parkways, and pedestrian pathways exhibiting more trees and orderly arrangements of the landscape palettes and the parks and community open space areas serving as landscape focal points with plant palettes that serve both beautification and functional purposes, such as complementing recreation and passive enjoyment in the parks (e.g., grass fields and shade areas) and accenting and visual separation of neighborhoods in the community open space and interior slope areas. These areas of the Project will utilize overlapping plant and trees species found in the community entries and public corridor areas, however these areas will generally be less complex and ornate than the more public areas of the Project. In many cases, the functionality of the landscape will serve as a primary driver of its complexity and character.

Planting Area Legend

 Area 1 Glenn Ranch Road and Saddleback Road	 Area 7 Perimeter Parks
 Area 2 Primary Community Entry	 Area 8 Interior Slopes & Planted Walls
 Area 3 Secondary Community Entries	 Area 9 Transitional Slopes and Planted Walls
 Area 4 Interior Residential Streets & Alleys	 Area 10 Naturalized Perimeter Slopes
 Area 5 Interior Development	 Area 11 Natural Open Space
 Area 6 Interior Parks	



**Exhibit 8-1**  
**Portola Center Landscape Design Framework**



## **8.2.4 PERIMETER AREAS & FUEL MODIFICATION ZONES**

The Project's perimeter areas primarily support the fuel modification zones. These zones are surrounded by natural open space that is characterized by its native habitat, including sage brush, chaparral, dry grasslands, and cactus scrub, and its steep and hilly terrain. The habitat in these natural areas is a mixture of olive, sage, brown, and yellow hues that are reminiscent of the relatively dry, Mediterranean climate that dominates Southern California. Accordingly, the landscape palette for the fuel modification zones needs to accomplish three major objectives: (1) the plant materials need to possess a low fuel load content (i.e., low probability of flammability) and comply with the Orange County Fire Authority's Prohibited Plant List for FMZ Areas; (2) the plant materials need to visually blend with the natural habitat surrounding the Project site; and (3) the plant materials need to be non-invasive species that are easy to maintain and do not contribute to open space preserve "edge effects" such as weeds or pests.

## **8.3 LANDSCAPE CONCEPT PLAN AND PLANT PALETTES**

The Portola Center Landscape Concept Plans are shown in Exhibits 8-2 and 8-3. The Plans are comprised of 10 different planned landscape areas and an 11<sup>th</sup> natural open space area which are shown on the Landscape Concept Plans and include the following:

1. Glenn Ranch Road and Saddleback Ranch Road
2. Primary Community Entry
3. Secondary Community Entry
4. Interior Residential Streets & Alleys
5. Residential Neighborhoods and Mixed Use Center
6. Interior Parks
7. Perimeter Parks (Adjacent to Perimeter Open Space)
8. Interior Slopes & Planted Walls
9. Transitional Slopes and Planted Walls
10. Naturalized Perimeter Slopes
11. Natural Open Space Areas

Detailed Plant Palettes are provided in Table 8-1 for 11 different landscape areas. The 11<sup>th</sup> Area, "Natural Open Space Areas", includes areas onsite that will be left in their natural condition but will be subject to fuel modification. The design theme is established in the architectural elevations and design elements of the buildings and embodied in the Plant Palettes for the Project's landscape areas. The plant palettes provide a list of plant material to select from when designing the landscape for these areas. However, substitutions may be required due to plant material availability, soils test results, or other considerations.

Plant materials in the Naturalized Perimeter Slopes have been selected for their ability to merge into the existing natural environment without being invasive, and for their tolerance to drought and low water use irrigation. In addition, planting in the Fuel Modification Zones (FMZs) along the perimeter of the Project will comply with the Orange County Fire Authority (OCFA) planting and irrigation requirements and restrictions for FMZs (Guideline C-05 for Fuel Modification).





**Planting Area Legend**

	<b>Area 1</b> Green Ranch Road & Sackback Road		<b>Area 8</b> Interior Slopes & Planted Walls
	<b>Area 2 3</b> Community Entries		<b>Area 9</b> Transitional Slopes
	<b>Area 4</b> Interior Residential Streets & Alleys		<b>Area 10</b> Naturalized Perimeter Slopes
	<b>Area 5</b> Interior Development		<b>Area 11</b> Natural Open Space
	<b>Area 6</b> Interior Parks		
	<b>Area 7</b> Perimeter Parks		
	<b>N/A</b> Perimeter Parks		

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**Exhibit 8-2  
Portola Center North Landscape Concept Plan**





## Table 8-1: Portola Center Landscape Plan Palettes

### Area 1: Glenn Ranch Road & Saddleback Road

#### Glenn Ranch Road Parkway & Median Tree:

*Quercus ilex*, Holly Oak

#### Saddleback Road Parkway & Median Tree:

*Lophostemon confertus*, Brisbane Box



#### Parkway & Median Shrubs & Ornamental Grasses such as:

*Aloe Vera*\*, Medicinal Aloe

*Carex pansa*, California Meadow Sedge (See Note #4)

*Festuca mairei*, Mare's Bunch Grass

*Hesperaloe parviflora* 'Brakelights'\*, Mountain States Red Yucca

*Limonium perezii*\*\*\*, Sea Lavender (See Note #4)

*Salvia mellifera* 'Tera Seca', Tera Seca Sage

#### Slope Trees

*Cercis occidentalis*\*, Western Redbud

*Lophostemon confertus*, Brisbane Box

*Plantanus racemosa*\*, California Sycamore (See Note #1)

*Prunus ilicifolia lyonii*\*, Catalina Cherry

*Quercus agrifolia*\*, Coast Live Oak

*Rhus lancea*\*\*\*, African Sumac

*Sambucus mexicana*\*, Mexican Elderberry



#### Slope Large Shrubs, (Used in limited quantities)

*Echium fastuosum*, Pride of Madeira

*Fremontodendron californica* 'California Glory'\*, California Flannelbush

*Heteromeles arbutifolia*\*\*\*, Toyon

*Rhus integrifolia*\*, Lemonade Berry

*Rhus ovata*\*\*\*, Sugarbush

*Ribes viburnifolium*\*, Evergreen Currant

#### Slope Sprawling Shrubs, Vines, Low Shrubs, Groundcovers, Succulents & Cacti

*Acacia redolens* Desert Carpet\*\*\*, Desert Carpet

*Agave attenuata*\*, Century Plant

*Archostapylos hiikeri* 'Monterey Carpet' Manzanita\*

*Baccharis pilularis* 'Twin Peaks 2'\*\*\*, Dwarf Coyote Bush

*Ceanothus gloriosus* 'Point Reyes'\*, Point Reyes Creeper

*Ceanothus horizontalis* 'Yankee Point' Creeper\*

*Cistus hybridus*\*, White Rock Rose

*Cistus* 'Sunset', Rock Rose

*Clematis pauciflora*, Ropevine

*Coprosma x kirkii*\*, Creeping Mirror Plant

*Cotoneaster dammeri* 'Lowfast', Bearberry Cotoneaster

*Keckiella cordifolia*\*, Heart-Leaved Penstemon

*Kniphofia uvaria*\*, Red Hot Poker

*Limonium perezii*\*\*\*, Sea Lavender (See Note #4)

*Mimulus aurantiacus*\*, Sticky Monkey Flower

*Oenothera speciosa* 'Rosea'\*, Pink Evening Primrose

*Opuntia littoralis*\*, Coastal Prickly Pear Cactus

*Salvia snomensis*\*, Creeping Sage

*Sarcostemma cynanchoides*, Climbing Milkweed

*Solanum xanthii*\*, Nightshade

*Yucca schidigera*\*, Mojave Yucca

*Yucca whipplei*\*, Foothill Yucca



## Area 1: Glenn Ranch Road & Saddleback Road (Continued...)

### Slope Restoration Hydroseed Mix:

Camissonia cheiranthifolia\*, Beach Primrose  
Encelia californica\*, Coast Sunflower  
Eriophyllum confertiflorum\*, Golden Yarrow  
Eschscholzia maritima\*, California Poppy  
Heliathemum scoparium\*, Rush Rose  
Lasthenia californica\*, California Goldfields  
Lotus hamatus, San Diego Bird's Foot Trefoil  
Lupinus nanus, Dwarf Lupine  
Plantago erecta\*, California Plantain  
Trifolium gracilentum, Pinpoint Clover



### Planted Retaining Wall Sprawling Shrubs & Vines

Acacia redolens Desert Carpet\*\*, Desert Carpet  
Antigonon leptopus, San Miguel Coral Vine  
Baccharis pilularis 'Twin Peaks 2'\*\*\*, Dwarf Coyote Bush  
Calystegia macrostegia, Island Morning Glory  
Ceanothus gloriosus 'Point Reyes\*', Point Reyes Creeper  
Clematis lasiantha, Pipestream Clematis  
Clematis pauciflora, Ropevine  
Coprosma x kirkii\*, Creeping Mirror Plant  
Cotoneaster dammeri 'Lowfast', Bearberry Cotoneaster  
Keckiella cordifolia\*, Heart-Leaved Penstemon  
Oenothera speciosa 'Rosea\*', Pink Evening Primrose  
Sarcostemma cynanchoides, Climbing Milkweed  
Solanum xanthii\*, Nightshade  
Vitis girdiana\*\*\*, Desert Wild Grape



### Planted Retaining Wall Hydroseed Mix:

Camissonia cheiranthifolia\*, Beach Primrose  
Eriophyllum confertiflorum\*, Golden Yarrow  
Lasthenia californica\*, California Goldfields  
Lotus purshianus, Spanish Clover  
Lotus salsuginosus, Coastal Bird's Foot Trefoil  
Lotus scoparius\*, Deerweed  
Mimulus aurantiacus\*, Sticky Monkey Flower  
Plantago erecta\*, California Plantain  
Sisyrinchium bellum\*, Blue-Eyed Grass  
Trifolium willdenovii, Tomcat Clover

## Areas 2 & 3: Project Entries

### Primary Community Entry - Featured Specimen Tree:

(Glenn Ranch Road at Saddleback Ranch Road)  
Quercus agrifolia 'Multi-Trunk', Coast Live Oak

### Secondary Neighborhood Entry Trees:

Cupressus sempervirens Strica, Italian Cypress (See Note #6)  
Olea europea 'Wilsoni', Fruitless Olive Tree  
Phoenix dactylifera 'Medjool', Medjool Date Palm (See Note #3)



## Areas 2 & 3: Project Entries (Continued...)

### Shrubs, Ornamental Grasses & Groundcovers such as, but not limited to:

Aloe Vera, Medicinal Aloe  
Anigozanthos hybrids, Kangaroo Paw  
Bougainvillea species, Prostrate Bougainvillea  
Callistemon citrinus 'Compact', Dwarf Lemon Bottlebrush  
Dianella species, Flax Lily  
Echium fastuosum, Pride of Madeira (See Note #4)  
Festuca mairei, Mare's Bunch Grass  
Hesperaloe parviflora 'Brakelights', Mountain States Red Yucca  
Lantana montevidensis, Lantana  
Phormium species, Flax  
Rosmarinus officinalis, Rosemary



## Areas 4: Interior Residential Streets & Alleys

### Where residential streets are adjacent to native or naturalized open-space areas:

Quercus ilex, Holly Oak

### Residential streets within the internal streets trees such as, but not limited to:

Laurus nobilis 'Saratoga', Sweet Bay  
Agonis flexuosa, Peppermint Tree  
Arbutus 'Marina', Marina Arbutus  
Cupaniopsis anacardioides, Carrotwood  
Geijera parviflora, Australian Willow  
Lagerstromia inidica, Crape Myrtle  
Lophostemon confertus, Brisbane Box  
Melaleuca linarifolia, Flax Leaf Paper Bark  
Metrosideros excelsa, New Zealand Christmas Tree  
Pittosporum undulatum, Victorian Box  
Podocarpus gracilior, Fern Pine  
Rhus lancea, African Sumac  
' Sapium sebiferum, Chinese Tallow Tree (See Note #4)  
Ulmus parvifolia 'True Green', Evergreen Elm



### Parkway & Alley Shrubs, Ornamental Grasses & Groundcovers such as, but not limited to:



Agapanthus 'Rancho White', White Flowering Lily-of-the-Nile  
Agapanthus africanus, Lily-of-the-Nile  
Anigozanthos hybrids, Kangaroo Paw  
Callistemon citrinus Compacta, Dwarf Lemon Bottlebrush  
Carex pansa, California Meadow Sedge (See Note #4)  
Carissa macrocarpa Green Carpet, Prostrate Natal Plum  
Dianella species, Flax Lily  
Festuca glauca, Blue Fescue  
Ligustrum japonicum 'Texanum', Japanese Privet  
Limonium perezii, Sea Lavender (See Note #4)  
Myoporum parvifolium Putah Creek, No Common Name (See Note #5)  
Phormium tenax 'Jack Spratt', Dwarf Flax  
Raphiolepis indica, India Hawthorn  
Rosmarinus officinalis 'Huntington Carpet', Rosemary  
Senecio mandraliscae, Kleinia

## Area 5: On-Site Interior Development (Single-Family Residential, Multi-family & Mixed-Use Lots)

### Trees such as, but not limited to:

Arbutus 'Marina', Marina Arbutus  
 Brachychiton populneus, Bottle Tree  
 Chorisia speciosa, Floss Silk Tree  
 Cupressus sempervirens 'Stricta', Italian Cypress (See note #6)  
 Ficus robiginosa, Rustyleaf Fig  
 Geijera parviflora, Australian Willow  
 Jacaranda mimosifolia, Jacaranda  
 Koelreuteria bipinnata, Chinese Flame Tree  
 Lagerstromia inidica, Cape Myrtle  
 Laurus nobils 'Saratoga', Sweet Bay  
 Lophostemon confertus, Brisbane Box



Metrosideros exelsus, New Zealand Christmas Tree  
 Olea europea Wilsoni, Fruitless Olive Tree  
 Phoenix dactylifera 'Medjool', Medjool Date Palm (See Note #3)  
 Phoenix reclinata, Senegal Date Palm (See Note #3)  
 Pittosporum undulatum, Victorian Box  
 Podocarpus gracilior, Fern Pine  
 Rhus lancea, African Sumac  
 Sapium sebiferum, Chinese Tallow Tree (See Note #4)

### Shrubs, Ornamental Grasses & Groundcovers such as, but not limited to:

Agapanthus 'Rancho White', White Lily-of-the-Nile  
 Agapanthus africanus, Lily-of-the-Nile  
 Aloe species, Aloe  
 Bougainvillea species, Bougainvillea  
 Buxus microphylla 'Green Beauty', Dwarf Boxwood  
 Callistemon citrinus Compacta, Dwarf Lemon Bottlebrush  
 Carex pansa, California Meadow Sedge (See Note #4)  
 Carissa macrocarpa 'Green Carpet', Prostrate Natal Plum  
 Ceanothus species, Carmel Creeper  
 Chamaerops humillis, Mediterranean Fan Palm  
 Cistus 'Sunset', Rock Rose  
 Cycas revoluta, Sago Palm  
 Dianella species, Flax Lily  
 Dietes bicolor, Fortnight Lily  
 Echium fastuosum, Pride of Madeira (See Note #4)  
 Festuca glauca, Blue Fescue  
 Lantana montevidensis, Lantana  
 Lavendula species, Lavender  
 Ligustrum japonicum 'Texanum', Texas Privet  
 Limonium perezii, Sea Lavender - See Note #4)  
 Myoporum parvifolium Putah Creek (See Note #5)  
 Myrtus species, Myrtle  
 Nandina domestica, Heavenly Bamboo  
 Phoenix roebelenii, Pigmy Date Palm  
 Phormium species, Flax  
 Phormium tenax 'Jack Spratt', Dwarf Flax

Pittosporum tobira 'Wheeler's Dwarf', Dwarf Tobira  
 Pittosporum tobira, Common Tobira  
 Rosa species, Rose  
 Rosmarinus officinalis, Rosemary  
 Salvia mellifera 'Tera Seca', Tera Seca Sage  
 Strelitzia nicotia, Giant Bird of Paradise  
 Strelitzia reginae, Bird of Paradise  
 Trachelospermum jasminoides, Star Jasmine  
 Trachycarpus fortunei, Windmill Palm  
 Xyosma congestum, Shiny Xyosma  
 Zamia furfuracea, Cardboard Palm



### Active Recreational Grass:

Marathon 2e, Dwarf Tall Fescue (See Note #2)

## Area 6: Interior Parks

(Where not adjacent to perimeter open-space areas)



### Trees such as, but not limited to:

Ficus robiginosa, Rustyleaf Fig  
Jacaranda mimosifolia, Jacaranda  
Lophostemon confertus, Brisbane Box  
Metrosideros exelsus, New Zealand Christmas Tree  
Olea europea 'Wilsoni', Fruitless Olive Tree  
Phoenix dactylifera 'Medjool', Medjool Date Palm (See Note #3)  
Plantanus racemosa, California Sycamore  
Quercus agrifolia, Coast Live Oak  
Rhus lancea, African Sumac

### Shrubs, Ornamental Grasses & Groundcovers such as, but not limited to:

Agapanthus africanus, Lily-of-the-Nile  
Agapanthus 'Rancho White', White Lily-of-the-Nile  
Aloe species, Aloe  
Bougainvillea species, Bougainvillea  
Callistemon citrinus 'Compacta', Dwarf Lemon Bottlebrush  
Carex pansa, California Meadow Sedge (See Note #4)  
Carissa macrocarpa 'Green Carpet', Prostrate Natal Plum  
Ceanothus species, Carmel Creeper  
Chamaerops humilllis, Mediterranean Fan Palm  
Cistus 'Sunset', Rock Rose  
Cotoneaster dammeri 'Lowfast', Bearberry Cotoneaster  
Dianella caerulea 'Little Becca', Little Becca Flax Lily  
Dianella caerulea 'Tasred', Tasred Flax Lily  
Diets bicolor, Fortnight Lily



Echium fastuosum, Pride of Madeira (See Note #4)  
Lantana montevidensis, Lantana  
Ligustrum japonicum 'Texanum', Texas Privet  
Limonium perezii, Sea Lavender (See Note #4)  
Myoporum parvifolium 'Putah Creek', No Common Name (See Note #5)  
Nandina domestica, Heavenly Bamboo  
Phoenix roebelenii, Pigmy Date Palm  
Phormium species, Flax  
Phormium tenax 'Jack Spratt', Dwarf Flax  
Pittosporum tobira 'Wheeler's Dwarf', Dwarf Tobira  
Pittosporum tobira, Common Tobira  
Rosmarinus officinalis, Rosemary  
Salvia mellifera 'Tera Seca', Tera Seca Sage  
Strelitzia nicotia, Giant Bird of Paradise

### Active Recreational Grass:

Marathon 2e, Dwarf Tall Fescue (See Note #2)



## Area 7: Perimeter Parks

*(Where adjacent to perimeter open-space area)*

### Trees such as, but not limited to:

Arbutus unedo\*, Strawberry Tree  
Ceratonia siliqua\*, Carob Tree  
Lophostemon confertus, Brisbane Box  
Metrosideros exelsus\*\*, New Zealand Christmas Tree  
Plantanus racemosa\*, California Sycamore (See Note #1)  
Quercus agrifolia\*, Coast Live Oak  
Rhus lancea\*\*, African Sumac



### Shrubs, Ornamental Grasses & Groundcovers such as, but not limited to:



Acacia redolens Desert Carpet\*\*\*, Desert Carpet  
Agapanthus africanus, Lily-of-the-Nile  
Agave attenuata\*, Century Plant  
Aloe Vera\*, Medicinal Aloe  
Baccharis pilularis 'Twin Peaks 2\*\*\*, Dwarf Coyote Bush  
Carex pansa, California Meadow Sedge (See Note #4)  
Ceanothus gloriosus 'Point Reyes\*', Point Reyes Creeper  
Ceanothus horizontalis 'Yankee Point\*', Yankee Point Creeper  
Cistus 'Sunset', Rock Rose  
Cistus hybridus\*, White Rock Rose  
Cotoneaster dammeri 'Lowfast', Bearberry Cotoneaster  
Dianella species, Flax Lily  
Diets bicolor, Fortnight Lily

Festuca mairei, Mare's Bunch Grass  
Hesperaloe parviflora 'Brakelights\*', Mountain States Red Yucca  
Kniphofia uvaria\*, Red Hot Poker  
Limonium perezii\*\*\*, Sea Lavender (See Note #4)  
Mimulus aurantiacus\*, Sticky Monkey Flower  
Myoporum parvifolium 'Putah Creek\*', (See Note #5)  
Phormium tenax 'Jack Spratt', Dwarf Flax  
Rosmarinus officinalis\*\*\*, Rosemary  
Salvia snomensis\*, Creeping Sage  
Yucca schidigera\*, Mojave Yucca  
Yucca whipplei\*, Foothill Yucca



### Slope Restoration Hydroseed Mix:

Camissonia cheiranthifolia\*, Beach Primrose  
Eschscholzia maritima\*, California Poppy  
Lasthenia californica\*, California Goldfields  
Lotus hamatus, San Diego Bird's Foot Trefoil  
Lupinus nanus, Dwarf Lupine  
Plantago erecta\*, California Plantain  
Trifolium gracilentum, Pinpoint Clover

## Area 8: Interior Slopes & Planted Walls

(Those slopes not adjacent to Glenn Ranch Road, Saddleback Ranch Road or the project perimeter)

### Trees such as, but not limited to:

Acacia baileyana, Bialeley Acacia  
Arbutus unedo\*, Strawberry Tree  
Cercis occidentalis\*, Western Redbud  
Jacaranda mimosifolia, Jacaranda  
Lophostemon confertus, Brisbane Box  
Prosopis chilensis, Chilean Mesquite  
Prunus ilicifolia Lyonii\*, Catalina Cherry  
Quercus agrifolia\*, Coast Live Oak  
Rhus lancea\*\*, African Sumac  
Umbellularia californica\*, California Bay Laurel



### Slope Large Shrubs, (Used in limited quantities)

Echium fastuosum, Pride of Madeira  
Heteromeles arbutifolia\*\*, Toyon  
Phormium species, (Flax)  
Rhus integrifolia\*, Lemonade Berry  
Rhus ovata\*\*, Sugarbush  
Sambucus species\*, Elderberry



### Slope Sprawling Shrubs, Vines, Low Shrubs, Groundcovers, Succulents & Cacti



Acacia redolens Desert Carpet\*\*, Desert Carpet  
Agave attenuata\*, Century Plant  
Baccharis pilularis 'Twin Peaks 2', Dwarf Coyote Bush  
Bougainvillea species\*\*, Prostrate Bougainvillea  
Ceanothus gloriosus 'Point Reyes', Point Reyes Creeper  
Ceanothus horizontalis 'Yankee Point', Yankee Point Creeper  
Cistus 'Sunset', Rock Rose  
Coprosma x kirkii\*, Creeping Mirror Plant  
Cotoneaster dammeri 'Lowfast', Bearberry Cotoneaster  
Lantana montevidensis\*, Lantana  
Limonium perezii\*\*\*, Sea Lavender (See Note #4)  
Mimulus aurantiacus\*, Sticky Monkey Flower  
Myoporum parvifolium 'Putah Creek', No Common Name (See Note #5)  
Oenothera speciosa 'Rosea', Pink Evening Primrose  
Rosmarinus officinalis 'Huntington Carpet'\*\*\*, Prostrate Rosemary  
Senecio mandraliscae, Kleinia  
Tecomaria capensis\*, Cape Honeysuckle

### Slope Restoration Hydroseed Mix:

Camissonia cheiranthifolia\*, Beach Primrose  
Encelia californica\*, Coast Sunflower  
Eriophyllum confertiflorum\*, Golden Yarrow  
Eschscholzia maritima\*, California Poppy  
Heliathemum scoparium\*, Rush Rose  
Lasthenia californica\*, California Goldfields  
Lotus hamatus, San Diego Bird's Foot Trefoil  
Lupinus nanus, Dwarf Lupine  
Plantago erecta\*, California Plantain  
Trifolium gracilentum, Pinpoint Clover



## Area 8: Interior Slopes & Planted Walls (Continued...)

### Planted Retaining Wall Sprawling Shrubs & Vines

Acacia redolens Desert Carpet\*, Desert Carpet  
 Antigonon leptopus, San Miguel Coral Vine  
 Baccharis pilularis 'Twin Peaks 2'\* , Dwarf Coyote Bush  
 Bougainvillea species\*, Prostrate Bougainvillea  
 Calystegia macrostegia, Island Morning Glory  
 Ceanothus gloriosus 'Point Reyes'\* , Point Reyes Creeper  
 Ficus pumila, Creeping Fig  
 Lantana montevidensis\*, Lantana  
 Lonicera japonica 'Halliana'\*\*\*, Hall's Honeysuckle  
 Myoporum parvifolium 'Putah Creek'\* , No Common Name (See Note #5)  
 Vitis girdiana\*, Desert Wild Grape



### Planted Retaining Wall Hydroseed Mix:

Camissonia cheiranthifolia, Beach Primrose  
 Eriophyllum confertiflorum, Golden Yarrow  
 Lasthenia californica, California Goldfields  
 Lotus purshianus, Spanish Clover  
 Lotus salsuginosus, Coastal Bird's Foot Trefoil  
 Lotus scoparius, Deerweed  
 Mimulus aurantiacus, Sticky Monkey Flower  
 Plantago erecta, California Plantain

## Area 9: Transition Slopes & Planted Walls Within the Fuel Modification Zones

### Slope Trees

Cercis occidentalis\*, Western Redbud  
 Plantanus racemosa\*, California Sycamore (See Note #1)  
 Prunus ilicifolia Lyonii\*, Catalina Cherry  
 Quercus agrifolia\*, Coast Live Oak  
 Rhus lancea\*\*, African Sumac  
 Sambucus mexicana\*, Mexican Elderberry



### Slope Large Shrubs, (Used in limited quantities)

Echium fastuosum, Pride of Madeira  
 Fremontodendron californica 'California Glory'\* , California Flannelbush  
 Heteromeles arbutifolia\*\*, Toyon  
 Rhus integrifolia\*, Lemonade Berry  
 Rhus ovata\*\*, Sugarbush  
 Ribes viburnifolium\*, Evergreen Currant  
 Sambucus species\*, Elderberry

### Shrubs, Vines, & Groundcovers such as, but not limited to:

Agave attenuata\*, Century Plant  
 Archtostapylos hiikeri 'Monterey Carpet'\* , Monterey Carpet Manzanita  
 Baccharis pilularis 'Twin Peaks 2'\*\*\*, Dwarf Coyote Bush  
 Ceanothus gloriosus 'Point Reyes'\* , Point Reyes Creeper  
 Ceanothus horizontalis 'Yankee Point'\* , Yankee Point Creeper  
 Clematis pauciflora, Ropevine  
 Coprosma x kirkii\*, Creeping Mirror Plant  
 Cotoneaster dammeri 'Lowfast', Bearberry Cotoneaster





## Area 9: Transition Slopes & Planted Walls (Continued...)

### Shrubs, Vines, & Groundcovers such as, but not limited to:



Keckiella cordifolia\*, Heart-Leaved Penstemon  
 Kniphofia uvaria\*, Red Hot Poker  
 Mimulus aurantiacus\*, Sticky Monkey Flower  
 Oenothera speciosa 'Rosea'\*, Pink Evening Primrose  
 Opuntia littoralis\*, Coastal Prickly Pear Cactus  
 Sarcostemma cynanchoides, Climbing Milkweed  
 Solanum xanthii\*, Nightshade  
 Vitis californica\*, California Wild Grape  
 Yucca schidigera\*, Mojave Yucca  
 Yucca whipplei\*, Foothill Yucca



### Slope Restoration Hydroseed Mix:



Camissonia cheiranthifolia\*, Beach Primrose  
 Encelia californica\*, Coast Sunflower  
 Eriophyllum confertiflorum\*, Golden Yarrow  
 Eschscholzia maritima\*, California Poppy  
 Heliathemum scoparium\*, Rush Rose  
 Lasthenia californica\*, California Goldfields  
 Lotus hamatus, San Diego Bird's Foot Trefoil  
 Lupinus nanus, Dwarf Lupine  
 Plantago erecta\*, California Plantain  
 Trifolium gracilentum, Pinpoint Clover

### Planted Retaining Wall Sprawling Shrubs & Vines

Baccharis pilularis 'Twin Peaks 2'\*\*\*, Dwarf Coyote Bush  
 Calystegia macrostegia, Island Morning Glory  
 Ceanothus gloriosus 'Point Reyes'\*, Point Reyes Creeper  
 Clematis lasiantha, Pipestream Clematis  
 Clematis pauciflora, Ropevine  
 Coprosma x kirkii\*, Creeping Mirror Plant  
 Cotoneaster dammeri 'Lowfast', Bearberry Cotoneaster  
 Keckiella cordifolia\*, Heart-Leaved Penstemon  
 Oenothera speciosa 'Rosea'\*, Pink Evening Primrose  
 Sarcostemma cynanchoides, Climbing Milkweed  
 Solanum xanthii\*, Nightshade  
 Vitis girdiana\*\*\*, Desert Wild Grape



### Planted Retaining Wall Hydroseed Mix:

Achillea millefolium, Common Yarrow  
 Camissonia cheiranthifolia, Beach Primrose  
 Clarkia bottsae, Punchbowl Godetia  
 Eriophyllum confertiflorum, Golden Yarrow  
 Eschscholzia californica, Golden Poppy  
 Lasthenia californica, California Goldfields  
 Lotus scoparius, Deerweed  
 Melica imperfecta, Smallflower Melic  
 Mimulus aurantiacus, Sticky Monkey Flower



## Area 10: Naturalized Perimeter Slopes



### Trees such as, but not limited to:

*Cercis occidentalis*\*, Western Redbud  
*Prunus ilicifolia* Lyonii\*, Catalina Cherry  
*Quercus agrifolia*\*, Coast Live Oak

### Slope Large Shrubs, (Used in limited quantities)

*Sambucus mexicana*\*, Mexican Elderberry  
*Fremontodendron californica* 'California Glory'\*, California Flannelbush  
*Ribes viburnifolium*\*, Evergreen Currant  
*Sambucus species*\*, Elderberry

### Shrubs, Vines & Groundcovers such as, but not limited to:

*Agave attenuata*\*, Century Plant  
*Baccharis pilularis* 'Twin Peaks 2'\*, Dwarf Coyote Bush  
*Clematis pauciflora*, (Ropevine)  
*Coprosma x kirkii*\*, Creeping Mirror Plant  
*Keckiella cordifolia*\*, Heart-Leaved Penstemon  
*Kniphofia uvaria*\*, Red Hot Poker  
*Oenothera speciosa* 'Rosea'\*, Pink Evening Primrose  
*Opuntia littoralis*\*, Coastal Prickly Pear Cactus  
*Sarcostemma cynanchoides*, Climbing Milkweed  
*Solanum xantii*\*, Nightshade  
*Vitis californica*\*, California Wild Grape  
*Yucca schidigera*\*, Mojave Yucca  
*Yucca whipplei*\*, Foothill Yucca



### Slope Restoration Hydroseed Mix:



*Achillea millefolium*, Common Yarrow  
*Clarkia botata*, Punchbowl Godetia  
*Encelia californica*, Coast Sunflower  
*Eriophyllum confertiflorum*, Golden Yarrow  
*Eschscholzia californica*, Golden Poppy  
*Lasthenia californica*, California Goldfields  
*Lotus scoparius*, Deerweed  
*Melica imperfecta*, Smallflower Melic  
*Mimulus aurantiacus*, Sticky Monkey Flower  
*Nassella pulchra*, Purple Needle Grass  
*Sisyrinchium bellum*, Blue-Eyed Grass  
*Vulpia microstachys*, Small Fescue

### Planted Retaining Wall Sprawling Shrubs & Vines

*Baccharis pilularis* 'Twin Peaks 2'\*, Dwarf Coyote Bush  
*Calystegia macrostegia*, Island Morning Glory  
*Clematis lasiantha*, Pipestream Clematis  
*Clematis pauciflora*, Ropevine  
*Coprosma x kirkii*\*, Creeping Mirror Plant  
*Keckiella cordifolia*\*, Heart-Leaved Penstemon  
*Oenothera speciosa* 'Rosea'\*, Pink Evening Primrose  
*Sarcostemma cynanchoides*, Climbing Milkweed  
*Solanum xantii*, Nightshade  
*Vitis girdiana*\*, Desert Wild Grape



## Area 10: Naturalized Perimeter Slopes (Continued...)

### Planted Retaining Wall Hydroseed Mix:

Achillea millefolium, Common Yarrow  
Atriplex semibaccata, Creeping Saltbush  
Camissonia cheiranthifolia, Beach Primrose  
Clarkia bottsae, Punchbowl Godetia  
Encelia californica, Coast Sunflower  
Eriophyllum confertiflorum, Golden Yarrow  
Eschscholzia californica, Golden Poppy  
Lasthenia californica, California Goldfields  
Lotus scoparius, Deerweed  
Melica imperfecta, Smallflower Melic  
Mimulus aurantiacus, Sticky Monkey Flower



## Area 10A: Alternate Southern Cactus Scrub Vegetation

**Plant Material within the Fuel Modification Zones:** (Per Cactus Scrub Revegation & Management Plan)

### Shrubs, Vines, Grasses & Groundcovers within the Fuel Modification Zones such as, but not limited to:

Baccharis pilularis\*, Dwarf Coyote Bush  
Cneoridium dumosum\*, Bushrue  
Encelia californica\*, Coast Sunflower  
Heteromeles arbutifolia, Toyon  
Isocoma menziesii\*, Coastal Goldbush  
Isomeris arborea\*, Bladderpod  
Keckiella cordifolia\*, Keckiella  
Mimulus aurantiacus\*, Sticky Monkey Flower  
Nassella lepida\*, Foothill Needlegrass  
Opuntia littoralis, Coast Prickly Pear Cactus  
Opuntia prolifera, Coastal Cholla  
Rhus integrifolia, Lemonade Berry  
Sambucus Mexicana, Mexican Elderberry  
Solanum xantii, Nightshade  
Yucca whipplei\*, Foothill Yucca



### Cascading Vines for Planted Walls such as, but not limited to:

Keckiella cordifolia\*, Keckiella  
Solanum xantii, Nightshade

### Hydroseed Mix within the Fuel Modification Zones:

Artemisia californica, California Sagebrush  
Eriogonum fasciculatum, Flat Top Buckwheat  
Eriophyllum confertiflorum\*, Golden Yarrow  
Eschscholzia californica\*, California Poppy  
Gnaphalium californicum\*, California Everlasting  
Lotus scoparius Deerweed  
Lupinus truncates, Collar Lupine  
Mimulus aurantiacus\*, Sticky Monkey Flower  
Nassella lepida\*, Foothill Needlegrass  
Nassella pulchra\*, Foothill Needlegrass  
Plagiobothrys nothofulvus, Popcorn Flower  
Plantago insularis\*, Woolly Plantain  
Sisyrinchium bellum\*, Blue Eyed Grass  
Salvia apiana, White Sage  
Salvia mellifera, Black Sage



## **Areas 11: Natural Open Space**

**(Portions subject to fuel modification)**

### **Notes:**

\* Indicates plants identified on the Orange County Fire Authority's list of "Acceptable Plant Species for Homes Subject to Wildfires" (Where applicable to fuel modification zones)

\*\* Indicates plants identified on the Orange County Fire Authority's list of "Acceptable Plant Species for Homes Subject to Wildfires" that may be used on a limited basis (maximum 30% of area, where applicable to fuel modification zones)

\*\*\* Indicates plants identified on the Orange County Fire Authority's list of "Acceptable Plant Species for Homes Subject to Wildfires" that may only be used in fuel modification zones, not adjacent to reserve lands.

1. *Platanus racemosa* may be used on slopes (in limited quantities) towards the toe of slopes, in compliance with OCFA requirements.
2. *Marathon 2e Fescue Lawn* may only be used in active recreational areas and in minimal amounts within residential applications.
3. *Phoenix dactylifera* 'Medjool' & *Phoenix reclinata* Palms are not permitted within 250' of any fuel modification zone, creek or wetland area.
4. Indicates plant material that is not permitted within 250' of a creek or any wetland area.
5. *Myoporum parvifolium* 'Putah Creek' is not permitted within 250' of a creek, any wetland area, re-vegetation area or natural open-space.
6. *Cupressus sempervirens* *Strica* (Italian Cypress) is permitted only within the project's interior in limited quantities. These trees must be a minimum of 100 feet away from any part of the open-space preserve.

## **8.4 COMMUNITY OPEN SPACE PLAN**

The Portola Center Community Open Space Plan includes a Fuel Modification Plan and a Landscape Maintenance Plan that cover the perimeter areas, interior slopes, and community landscaped areas of the Project. The Plan focuses on vegetation management and landscape maintenance to achieve the multiple objectives, including: high quality landscape design, screening and other landscape functionality, and high levels of fire safety and landscape quality. The Portola Center Public Facilities Financing & Phasing Plan provides additional details on the landscape maintenance approach and responsibilities for the Project.

The Portola Center Project site is surrounded by native habitats and open space lands. To the west of the Project site is the Whiting Ranch Wilderness Park, to the South is the Southern California Edison Transmission Corridor Property which is predominantly in a state of natural open space and native habitats, and to the east is the Aliso Creek Open Space Preserve also covered in native habitats. Topography surrounding the site generally falls off to the west, south, and east with the Project site sitting above much of the native habitat that presents a wildland fire risk to the Project. To mitigate this risk, the Project includes permanently irrigated retaining walls and slopes along its southwestern and southeastern boundaries that face the wildland areas. The permanently irrigated slopes and walls in conjunction with the Project's Landscape Maintenance Plan will ensure that the intended vegetation cover for the walls and perimeter areas is maintained and not allowed to dry out or convert to another more potentially flammable type of vegetation.

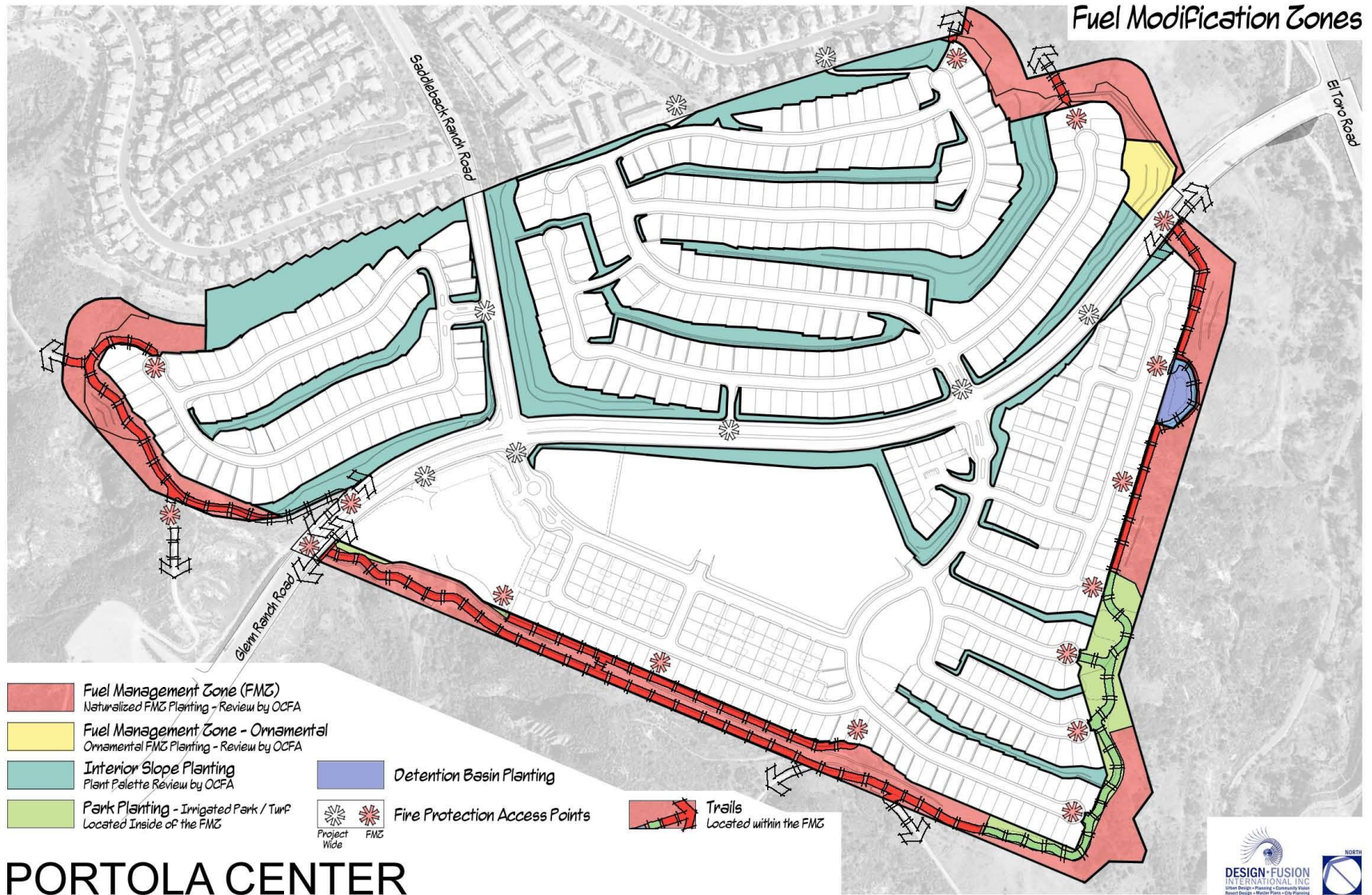
These Project areas will be managed as "Fuel Modification Zones" per the requirements for FMZ vegetation management of the Orange County Fire Authority. To meet OCFA's requirements, the Project's Fuel Modification Zones are comprised of a ten to twenty-foot-wide permanently irrigated Zone A, generally located inside and within the rear yard area of the private residential lots, and an expanded permanently irrigated "Zone B" that varies in width from 100 feet along the Project's southwestern boundary to 150 feet along the Projects' southeastern boundary, or 25 to 75 feet wider than the standard Zone B width.

The Landscape Concept Plan for the Project identifies a landscape palette for the Project's FMZ areas that will be limited an OCFA-approved plant palette and subject to strict annual to semi-annual vegetation thinning and removal requirements. The Project's interior slopes between residential areas will also be subject to OCFA's interior slope vegetation management requirements. While less stringent than the FMZ areas, these areas will also require regular maintenance and vegetation thinning and removal. In addition to meeting OCFA's vegetation management requirements for interior slopes, these areas will also be subject to landscape maintenance related to maintaining the Project's high quality community design objectives.

To facilitate effective fire personnel access to the open space areas surrounding the Project, the Project includes multiple trail segments along its Perimeter and paseos between the neighborhoods to the trails and these open space areas giving the fire personnel direct and varied access around the Project site's perimeter to offsite wildland areas that may be threatened or enflamed during a wildfire event. The paseos have been located specifically for the purpose of providing fire personnel access to these offsite open space areas. More than 90% of the perimeter of the Project site includes trails that can be used for this purpose.

Exhibit 6-14 below shows the Project's Fuel Modification Zones, trails, and paseos that have been integrated into the Project's Open Space and Fuel Modification Plan. In conjunction with the Project's Open Space and Fuel Modification Plan, the Project's Landscape Plan, the Project's perimeter retaining walls, the Portola Center Trail System, and multiple fire personnel and pedestrian access "paseos" out to the open space areas provide a comprehensive approach to ensuring the Project's defensibility against wildland fires.





**Exhibit 8-4**  
**Portola Center Open Space & Fuel Modification Plan**





# PORTOLA CENTER AREA PLAN

## CHAPTER NINE

### **SITE DEVELOPMENT REQUIREMENTS & AREA PLAN AMENDMENTS**

#### **9.1 PORTOLA CENTER AREA PLAN ALTERNATIVE DEVELOPMENT STANDARDS**

#### **9.2 PORTOLA CENTER AREA PLAN REGULATIONS AND PROCEDRUES**

#### **9.3 SITE DEVELOPMENT PERMIT REQUIREMENTS**

## **9.1 PORTOLA CENTER AREA PLAN ALTERNATIVE DEVELOPMENT STANDARDS**

The Portola Center Project site includes three Planning Areas comprised of eight Planning Units within the boundaries of the Portola Hills Planned Community, and, while still part of the Portola Hills Community, the Portola Center Area Plan includes many similar but distinct land uses and development standards from those contained in the Portola Hills Planned Community Regulations. The Portola Hills Planned Community Regulations allow for alternative development standards to be established by an Area Plan for an individual Planning Area or Areas. Section III of the Portola Hills Planned Community Regulations states that "alternative development standards may be established by approval of an Area Plan or Site Plan as described in Sections VII and XVIII." Section XVII further states that "An Area Plan may be approved which establishes alternative site development standards or uses for residential and nonresidential projects."

Consistent with the provisions of the Portola Hills Planned Community Regulations, the community design guidelines, land use regulations, and development standards contained in this Area Plan shall prevail over development in the Portola Center Project Planning Areas. The land use regulations and development standards control allowable uses and establish minimum and maximum standards, respectively, whereas the community design guidelines establish a conceptual design framework to control the quality and character of development in the Project. Any future amendments to this Area Plan or establishment of new Planning Areas or Planning Units within the Portola Center Project site shall comply with the Area Plan Amendment provisions of the Portola Hills Planned Community Regulations, Section XVII, "Area Plan Regulations and Procedures" which specifies the content and procedures by which an Area Plan can be amended or created.

## **9.2 PORTOLA CENTER AREA PLAN REGULATIONS AND PROCEDURES**

All individual development applications proposed for the Portola Center, including but not limited to zone changes, site development plans, subdivision maps, public and private infrastructure improvements, and other discretionary projects within the Project site boundaries shall be consistent with the land use regulations, development standards, and community design guidelines of this Area Plan. The zoning set forth in the Development Standards section of Chapter Seven of this Area Plan constitutes the zoning within the Portola Center for the Project's residential and nonresidential uses.

Should any of the provisions of this Area Plan conflict with the land use regulations or development standards of the City of Lake Forest or the Portola Hills Planned Community Regulations, the requirements of this Area Plan shall prevail. Any aspect of land use regulations or development standards not covered within this Portola Center Area Plan, subsequent plan approvals, and/or the Portola Hills Planned Community Regulations shall be regulated by the applicable sections of the City of Lake Forest Zoning Ordinances.

In the event any regulation, condition, plan, or portion of this Area Plan is held invalid or unconstitutional by a California Court or Federal Court of Competent Jurisdiction, such provision(s) and the invalidity of such provision(s) shall not affect the validity and applicability of the remaining provisions, regulations, conditions, and/or plans.

## **9.3 SITE DEVELOPMENT PERMIT REQUIREMENTS**

Section 9.184.020(B) of the City of Lake Forest Municipal Code states that Site Plans are included within the term "site development permit." The purpose of a site development permit is to provide for the administrative review of detailed development plans for a proposed use. Uses which require a site development permit are regarded as having a relatively low potential for adverse impacts on the subject site or surrounding community due to the nature or magnitude of the use vis-a-vis the sensitivity of the subject site or surrounding community.

A site development permit is a Precise Plan of development and shall include the same elements described in subsection C for use permits.

A site development permit shall be processed per Section 9.184.040(D), "Administrative action," unless the Director of Development Services determines on a case-by-case basis that the public interest would be better served by a public hearing before the Planning Commission. In such cases, the site development permit shall be processed per Section 9.184.040(C), "Public hearings." If the land use regulations of a planned community or a specific plan allow a site development permit or site plan to modify the site development standards to be less restrictive than otherwise

stated in the enabling ordinance, such a site development permit shall always require a public hearing before the Planning Commission per Section 9.184.040(C).

If the land use regulations of a planned community or specific plan allow a site development permit or site plan to authorize a use not specifically identified as permitted by the enabling ordinance, such site development permit shall always require a public hearing before the Planning Commission per Section 9.184.040(C). Establishment, maintenance and operation of the use or uses proposed by the application shall be in compliance with the information and specifications shown on the approved site development permit.

#### 9.4 SUBSEQUENT DEVELOPMENT APPROVALS

The Portola Center Project will require various subsequent permits and approvals to implement this Area Plan, some of which are administrative, but others which will be discretionary. Table 9-1 below outlines these additional approvals and identifies the decision-making body(ies) for each.

**TABLE 9-1: PORTOLA CENTER SUBSEQUENT APPROVALS AND DECISION BODY**

<b>ACTION</b>	<b>APPLICATION</b>	<b>REVIEW BODY</b>
First Tentative Map Submittal	Area Plan / Tentative Tract Map (TTM)	PC, CC (PH)
Minor Modifications to First Tentative Map Submittal Package	City Attorney / City Manager to determine scope of review (Section 7.7 of DA)	CA/CM OR CC
Amended Tentative Map Submittal	Amended Area Plan / Amended TTM	PC, CC (PH)
Amend Area Plan (AP)	Amended Area Plan	CC (PH)
Subsequent Tentative Maps	Tentative Map (Tract or Parcel)	PC (PH)
Airspace or one-lot subdivisions	Tentative Map (Tract or Parcel)	PC (PH)
Condominium Conversion	Tentative Map (Tract or Parcel)	PC (PH)
"A" and/or "B" Final Maps	Final Map (Tract or Parcel)	CC (Consent)
New Single-Family Neighborhoods (R1 to R4)	Site Plan for review of plotting, architecture, colors, street furniture, and compliance with adopted development standards	DS; or PC (PH) if referred by Director of DS
New Multi-Family Neighborhoods (R5 to R7)	Site Plan for review of product layout, access, plotting, architecture, landscaping, & compliance with AP dev. standards	PC (PH)
Mixed Use Development	Site Plan	PC (PH)
Alternative Development Standards	AP or Site Plan reviewed in conjunction w/ Project	PC (PH)
Gateway/Community Monuments, Signage	Planned Sign Program	PC (PH)
Master Landscape Plan	Review of exterior and interior slopes, street medians, wall plantings, other common landscaping, in accordance with Area Plan	PC (PH)
Park Recreation Centers	Site Plan	DS
Model Home Complex	Site Plan	DS
Model Home Signage	Minor Planned Sign Program	PC (PH)
Parks & Trails (Construction Drawings)	Ministerial Review	PW; DS
Grading Plans, Building Plans, Street Improvement Plans, Retaining Wall Plans, etc	Ministerial Review	PW; DS

DS = Development Services  
PH = Public Hearing

PC = Planning Commission  
CA = City Attorney

CC = City Council  
CM = City Manager  
PW = Public Works

# **APPENDIX A**

**(PUBLIC FACILITIES FINANCING & PHASING PLAN)**

**APPENDIX B**  
**(AFFORDABLE HOUSING IMPLEMENTATION PLAN)**